

NOTICE TO THE AUDIENCE: Please remember that if you are interested in matters on the agenda that will have subsequent meetings, it is your responsibility to note their dates, times, and places. No further letters or reminders will be sent. Of course, if you have any questions about any given matter, do not hesitate to contact the Planning Department in the City Hall Annex, 4403 Devils Glen Road, Bettendorf, Iowa 52722 or phone (563) 344-4100.

The Planning and Zoning Commission meeting will be open to the public. The City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>.

**PLANNING AND ZONING COMMISSION
CITY OF BETTENDORF
MARCH 15, 2023 AT 5:30 PM
CITY HALL COUNCIL CHAMBERS
1609 STATE STREET**

1. Roll Call: Gannaway ____, Gibson ____, Kappeler ____, Ormsby ____, Satterfield ____, Stoltenberg ____, Wennlund ____
2. Approval of minutes of the meeting of February 15, 2023.
3. Review of Commission procedures.

Rezoning

4. Case 23-018; 5019 Hopewell Avenue, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by CT Creek. (Staff: Beck)

Site Development Plan

5. Case 23-012; 2570 Middle Road, submitted by Switch Homes of Dubuque. (Staff: Beck)
(Deferred to meeting of April 19, 2023)
6. Case 23-019; 2255 Middle Road, submitted by City of Bettendorf/Brent Morlok. (Staff: Beswick)

Final Plat

7. Case 23-010; Legacy Corners Southeast, submitted by Century Heights Limited Partners/Ryan Fick. (Staff: Beswick)

Future Land Use Map Amendment/Rezoning

8. Case 23-013; SW corner of Devils Glen Road and Forest Grove Drive, Open Space and Parks to UMI Urban Medium-Intensity, submitted by E & A Enterprises, LLC. (Staff: Beswick)
(Moved to special meeting of April 5, 2023 by Chairman)

9. Case 23-014; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Moved to special meeting of April 5, 2023 by Chairman)
10. Case 23-015; SW corner of Devils Glen Road and Forest Grove Drive, R-1 Single-Family Residence District to C-2 Community Commercial District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Moved to special meeting of April 5, 2023 by Chairman)
11. Case 23-016; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-4 Medium-Density Multi-Family Residence District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Moved to special meeting of April 5, 2023 by Chairman)
12. Case 23-017; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-1 Single-Family Residence District, submitted by E & A Enterprises, LLC. (Staff: Beswick) (Moved to special meeting of April 5, 2023 by Chairman)

Site Development Plan (DCA District)

13. Case 22-097; 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Staff: Hunt) (Deferred to meeting of April 19, 2023)

Other

14. Case 23-020; Annexation of property generally located northeast of the intersection of Forest Grove Drive and Criswell Street in Scott County, Iowa, submitted by Forest Grove Properties, LLC. (Staff: Beswick)
15. Commission Update.



The materials for the Planning and Zoning Commission meeting can be accessed by scanning the QR code.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE. TEXT TELEPHONE (TTY) IS AVAILABLE AT (563) 344-4175. IN ADDITION, PERSONS USING TEXT TELEPHONE HAVE THE OPTION OF CALLING VIA THE IOWA COMPASS VOICE/TTY BY DIALING (800) 735-2942.

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MINUTES
PLANNING AND ZONING COMMISSION
FEBRUARY 15, 2023
5:30 P.M.

The Planning and Zoning Commission meeting of February 15, 2023, was called to order by Stoltenberg at 5:30 p.m. in the City Hall Council Chambers, 1609 State Street.

1. Roll Call

MEMBERS PRESENT: Gannaway, Gibson, Kappeler, Satterfield, Stoltenberg, Wennlund

MEMBERS ABSENT: Ormsby

STAFF PRESENT: Greg Beck, City Planner; Taylor Beswick, City Planner; Mark Hunt, Community Development Director; Brent Morlok, City Engineer; Chris Curran, City Attorney; Troy Said, Assistant Fire Chief; Polly Okland, Secretary

2. Approval of the minutes of the meeting of January 18, 2023.

On motion by Wennlund, seconded by Satterfield, that the minutes of the meeting of January 18, 2023 be approved as submitted.

ALL AYES

Motion carried.

3. Review of Commission procedures.

Site Development Plan

4. Case 23-006; 3240 - 62nd street (Lot 3, Bettendorf Industrial Park 5th Addition), submitted by Brent Martin. (Staff: Beck)

Beck reviewed the staff report.

Access was discussed, second access would be required by Fire Code. Beswick explained any development in the Flood Plain would need to meet minimum elevation level. Hunt explained that every building would need a Site Development Plan & Flood Plain Development plan. Detention of water and how it would be handled was discussed by Morlok. Grading of the entire lot would be done at the same time, per Chris Townsend, Townsend Engineering. Majority of lot is above Flood Plain. Stabilization would also be done as required.

On motion by Gannaway, second by Wennlund, that the Site Development Plan be approved subject to staff recommendations.

ALL AYES

Motion carried.

5. Case 23-011; 6125 Valley Drive, submitted by Jeff Hartman. (Staff: Beswick)

Beswick reviewed the staff report.

This is a Site Plan Modification. Staff felt that recent additions and changes warranted a site plan review. Staff recommends approval. Staff will note that any future major modifications will require review by this body. Some of the changes have already taken place and this is why this action is coming before board. Some changes could have been made prior to current owner, before 2008. Mark explained that changes came to light during a DNR audit and City has been working with owner and their engineer in this process. Site does meet flood requirements.

On motion by Gannaway, seconded by Wennlund, that the Site Plan modification be approved, subject to staff recommendations.

ALL AYES

Motion carried.

Site Development Plan (DCA Plan)

6. Case 22-097; 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Staff: Hunt)

Hunt reviewed the staff report.

This is a major Site Development Plan Change. Numerous issues of concern were discussed. How the original approved concept plan has morphed into the site as we see it today and what is being proposed as a possible 3 story building on Lot 2, where detention was originally designated. The "removal" of lot 2 and what would possibly be built on the lot in the future and the impact on residents of the subdivision and the impact, if any, on density and buffering, the housing mix, and how detention would subsequently be handled. Would it be consistent with the intent of the DCA, as originally proposed.

The commission was hesitant to approve the removal of Lot 2 because of the proposed 3 story building, even though the approval tonight would only for the removal of lot 2. Approval would not be for what could possibly be built on that lot in the future. It was stressed that the Commission could approve removal and they would then be able to review any proposed plans in the future for compatibility with the DCA. If they did not feel it was consistent with the vision of the DCA, they could choose not to recommend approval until a plan was brought forward that was acceptable and "checked all of the boxes" and was consistent with the pattern of development.

The appearance of the detention lot is not aesthetically pleasing at this point, landscaping still needs time to mature. With that being said, Nelson is not under obligation for further improvements of this lot as it stands. Counsel for Nelson also expressed that the proposal of the 3 story building, while not for consideration tonight, was consistent with the DCA and the pattern of development. This building would actually result in less density than the 4 apartment buildings that were proposed in the originally approved concept plan.

With a different, more acceptable proposal being brought forward in the future, the Commission would be open to consideration and detention could be moved and handled in an acceptable manner. Lot F would also have to be addressed.

Commission understands that they are a recommending body and they can express their opinion on proposed development, but the City Council has the authority to deny. If the Commission would agree with Staffs recommendation for denial, it could still go before Council.

After lengthy discussion and input from Brian Boelk, of Axiom, and from Counsel for Nelson Construction, the commission has elected to postpone until next scheduled meeting to give staff and applicant more time to work together and possibly bring forward a plan more consistent with the DCA vision, as the Commission see it.

On motion by Gannaway, seconded by Wennlund, that the decision to approve the Site Development Plan Change be postponed.

7. Commission Updates

Nothing to report currently. Staff is currently working on comprehensive plan. Staff has been busy but will be meeting this Spring and starting that process.

There being no further business, the meeting adjourned at approximately 7:10 p.m.

STAFF REPORT

Subject: 5019 Hopewell Avenue - Rezoning
Author: Greg Beck
Department: Community Development
Date: March 15, 2023

Case No.: 23-018
Request: Rezoning to permit a church and townhouse development
Location: 5019 Hopewell Avenue
Legal Description: Hopewell Farm First Addition - Parcel No. 841105101
Applicant: Ben Eastep - CT Creek
Current Zoning: A-1, Agricultural/Urban Reserve District
Proposed Zoning: R-3, Mixed Residential District
Future Land Uses: Urban Medium Intensity (west - church) Urban Low Intensity (east - townhouses)

Background Information & Facts

Ben Eastep of CT Creek has submitted a request to rezone Hopewell Farm First Addition from A-1 to R-3 (see Aerial Map, Attachment A). The future land use designation is split between Urban Medium Intensity (west) and Urban Low Intensity (east) (see Zoning Map and Future Land Use Map, Attachments B and C.) The petitioner is proposing this rezoning to accommodate a church on the west side of the subdivision and townhouses on the east side of the subdivision.

Future Land Use and Comprehensive Plan

Both future land uses permit the rezoning to the R-3, Mixed Residential District which permits the church and townhouse developments. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods and Goal G: Attract Young People.

Lot Configuration & Zoning Compliance

Lot 1 of Hopewell Farm First Addition contains 17.67 acres for the proposed church and residential units (see Final Plat and Zoning Aerial, Attachment D and E). The concept shows a church, 26 single-story townhouse units, and 36 two-story townhouse units (see Concept Plans, Attachments F and G). The 36 two-story townhouse units are predominantly placed in the middle of the proposed residential site (see Two-Story Townhouses, Attachment H). The single-story townhouses are concentrated on the outside of the residential portion of the lot near surrounding subdivisions (see Single-Story Townhouses, Attachment I). The church will face Middle Road (see Church Representation, Attachment J).

Utilities

Utilities are present along Hopewell Avenue and Middle Road. Sanitary and storm sewer run through the middle of the parcel. Electrical service is available from the east side of Middle Road and the south side of Hopewell Avenue. Water is available from the east side of Middle Road. Telecommunications connections originate from the east side of Middle Road.

Thoroughfare Plan & Access

Middle Road access will be available only to the church. The church will also have access to Hopewell Avenue. The residential area would be accessed from two points north from Hopewell Avenue and from the south via extension of Butterfield Court from Fieldstone Pointe Addition (see Concept Plan, Attachment G).

Pedestrian and Trail Access

A 10-foot wide recreational trail is on the north side of Hopewell Avenue, and a 5-foot wide sidewalk is on the south side of Hopewell Avenue. All interior sidewalks are required to be 5 feet in width.

Off-Street Parking

Each two-story townhouse unit will have a parking space in the interior and a drive area with another space. The single-story townhouse design shall have two spaces inside and room for two cars outside.

Stormwater Detention

Storm water detention is accommodated downstream in an outlot near Century Heights Tenth, Eleventh, and Twelfth Additions. Any water quality features or further stormwater detention requirements would need to be evaluated by the City Engineer.

Landscaping

Staff contends that even though landscaping is not required, the portion of Hopewell Farm First Addition bordering Century Heights Nineteenth Addition and Fieldstone Pointe Addition, additional landscaping should be provided by the developer as was done in other nearby subdivisions.

Lighting

Any lighting from the church would be evaluated at the time a site development plan is submitted for the church.

Floodplain

A portion of Hopewell Farm First Addition is separated by a drainageway which has been outlined on the original plat to contain the 100-year flood hazard area (see Final Plat and FEMA Flood Map, Attachments D and K).

Staff Recommendation

In addition to the analysis provided above, staff finds the zoning amendment adequately addresses the following concerns as prescribed in 11-15-13(B) of the Zoning Ordinance:

1. The rezoning conforms to the future land use map in the comprehensive plan as described in the Preamble and further in subsection A-1-3 of Appendix 1.
2. The amendment is consistent with the goals and objectives of the comprehensive plan.
3. If the responses for Subsection 11-15-13 B.1. and 11-15-13 B.2. of this section are not affirmative, then either the amendment request recommendation must be denied, or the planning and zoning commission and city council must amend the comprehensive plan to provide the required consistency.
4. The subject property, after the city council approval of the requested rezoning, will be designed so as to permit characteristics of said zoning district that will not negatively impact the nearby parcels.
5. The potential externalities and applicable performance standards requirements governing factors (such as noise, neon lights, odors, etc.) of the rezoning request have been adequately considered.
6. There are adequate public utilities and services available to the land if rezoned. If not, there is an identified party who will pay to install them.

7. The pattern of development that has occurred surrounding the subject property is examined, as other characteristics of the subject property are considered, to make a determination regarding a request for an amendment change.
8. The proposed amendment is in the public interest and not solely in the interests of the applicant.

Other conditions added to the approval of the site development plan include:

1. Approval by the City Council of all preliminary and final plat submittals.
2. Approval by the City Council of site development plans for both the church and townhouse developments.

Respectfully submitted,

Greg Beck
City Planner

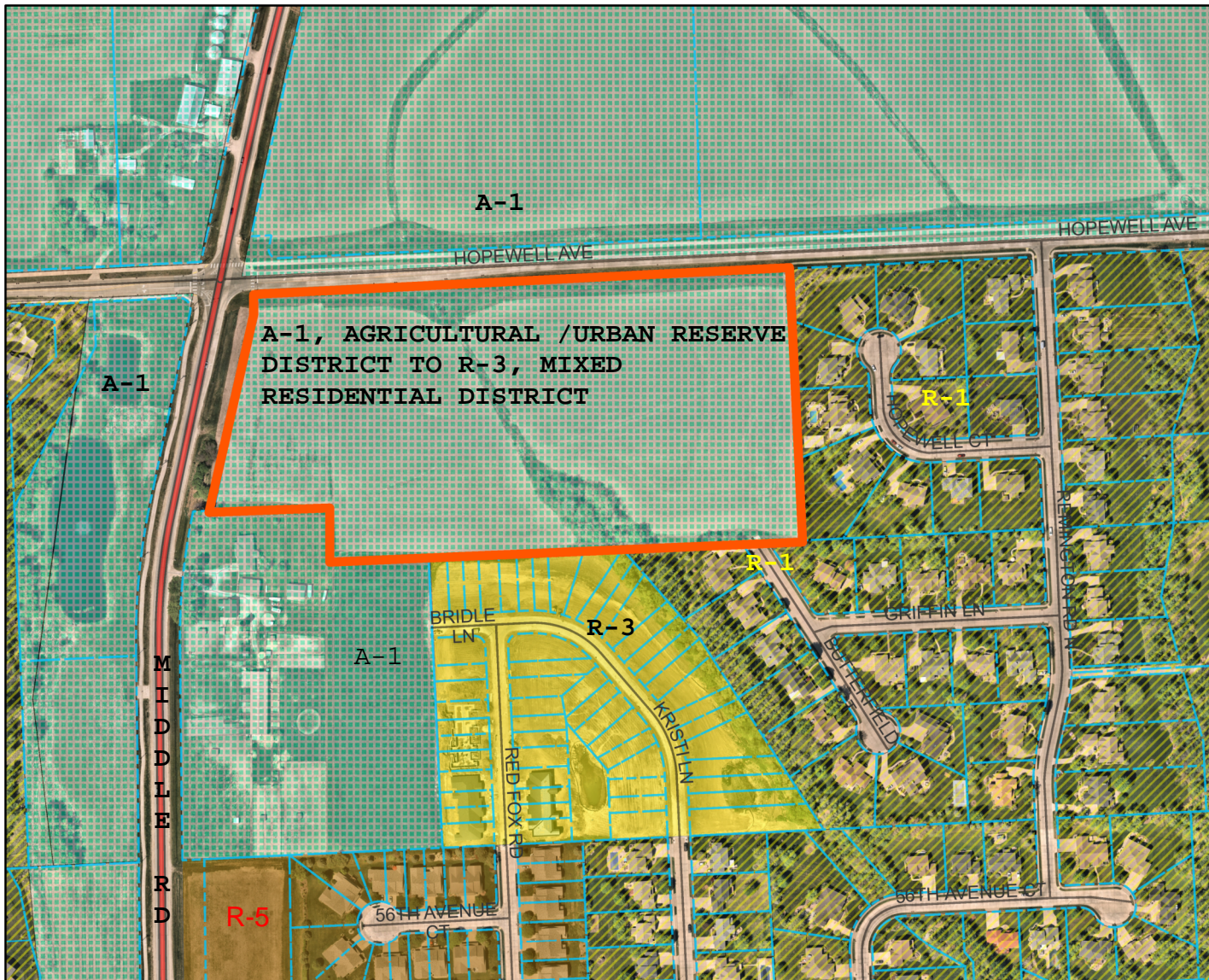


By Class
RDCLASS

- Alleyway/Access Road
- - - - - Bike Trail
- ==== County Route
- ==== Driveway
- ==== Interstate
- ==== Local road in unincorporated area
- ==== Local road within incorporated area or Park View

- ==== Major road
- ==== Pedestrian trail/walkway
- ==== Ramp
- ==== State Highway
- ==== US Highway
- ==== <all other values>
- ==== City Limits
- ==== Property Lines
- ==== Creeks
- ==== Ponds and Lakes





By Class

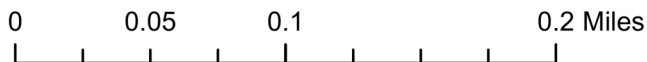
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- Ramp
- State Highway
- US Highway
- <all other values>

Current Zoning
ZONING

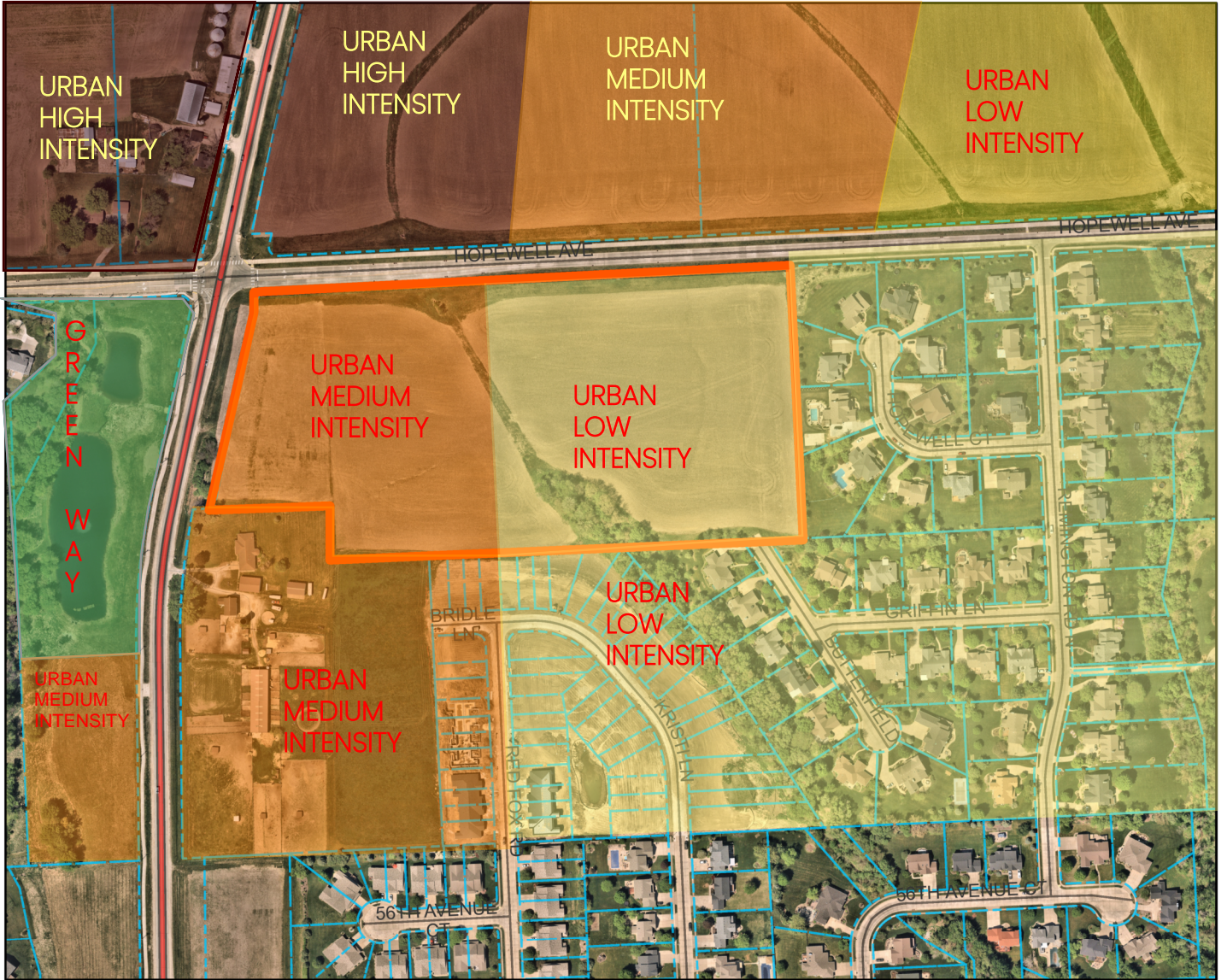
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- A-2
- C-1
- C-2
- C-3
- C-6
- C-7
- I-1
- I-2
- I-3

- PR-3
- PR-4
- PR-5
- PUD
- Parks
- R-1
- R-2
- R-3
- R-4
- R-5
- U-LI
- U-MI
- U-HI
- Creeks
- Ponds and Lakes



FUTURE LAND USE MAP

ATTACHMENT C

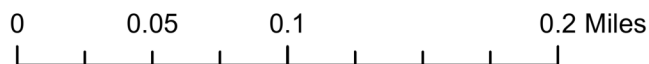


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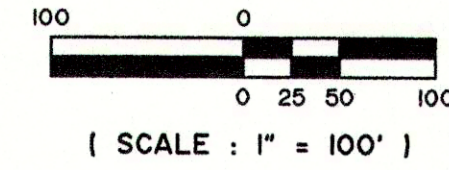
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- ==== State Highway
- ==== US Highway
- ==== <all other values>
- ■ ■ City Limits
- - - - - Property Lines
- ==== Creeks
- ==== Ponds and Lakes



FINAL PLAT OF HOPEWELL FARM FIRST ADDITION TO THE CITY OF BETTENDORF, IOWA

BEING PART OF THE NORTHEAST QUARTER OF SECTION 11
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.



OWNER - DEVELOPER

HOPEWELL FARM, L.C.
3122 EAST 35th STREET COURT
DAVENPORT, IOWA
ATTN: ROB FICK

GENERAL NOTES

IRON MONUMENTS FOUND SHOWN THUS (5/8"φ IRON PIN)
 IRON MONUMENTS SET SHOWN THUS (5/8"φ x 30" IRON PIN)
 CONCRETE MONUMENTS SET SHOWN THUS (6" x 6" x 48")
 DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 SUBDIVISION CONTAINS 19.36 ACRES, MORE OR LESS.

FOR THIS SURVEY THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 11-78-4 WAS ASSUMED TO BEAR N.00°-01'-15"W.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

ALL STREET RIGHT OF WAYS ARE DEDICATED TO THE CITY OF BETTENDORF, IOWA, FOR STREET PURPOSES.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.

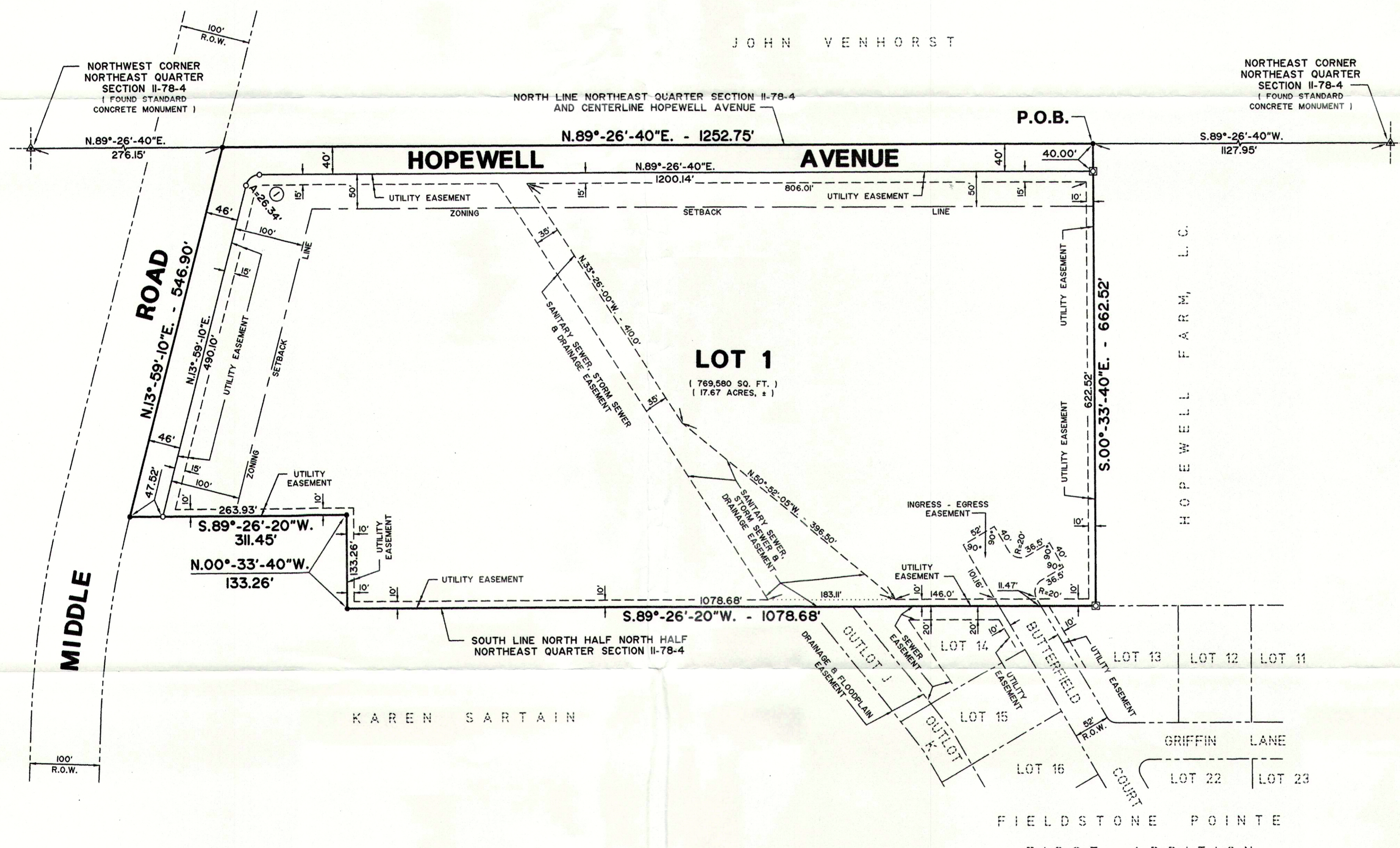
ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

ANY STORM SEWER SYSTEM WITHIN THE DESIGNATED SEWER AND DRAINAGE EASEMENT ACROSS LOT 1 SHALL BE DESIGNED TO ACCOMMODATE THE 100 YEAR STORM EVENT.

THE DEVELOPMENT ON LOT 1 MUST MEET THE MIDDLE ROAD CORRIDOR OVERLAY DISTRICT DEVELOPMENT STANDARDS.

THE MIDDLE ROAD ACCESS TO LOT 1 SHALL BE LIMITED TO RIGHT-IN / RIGHT-OUT AT SUCH TIME AS MIDDLE ROAD IS DEVELOPED WITH A MEDIAN BARRIER.

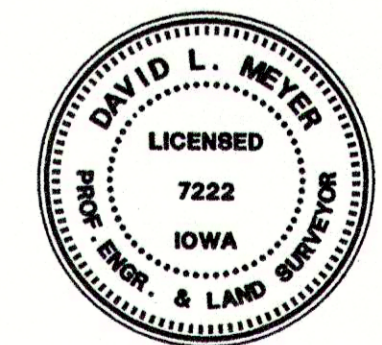
CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	20.00'	75°-27'-30"	26.34'	24.48'	N.51°-42'-55"E.	15.47'



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature: *David L. Meyer*
 David L. Meyer, P.E. & L.S., License Number 7222
 Date: **OCTOBER 31, 2003**
 My license renewal date is December 31, 2004.

THIS SHEET ONLY
 Pages or sheets covered by this seal:



QWEST COMMUNICATIONS	MIDAMERICAN ENERGY COMPANY	IOWA-AMERICAN WATER CO.	MEDIACOM	PLAN & ZONE COMMISSION	CITY OF BETTENDORF, IOWA
BY <i>Ben Sca...</i>	BY <i>Mike Helix...</i>	BY <i>John J. DuBois</i>	BY <i>Charles Hunt...</i>	BY <i>Robert H. Gallagher</i>	BY <i>Debra P. Leach</i>
DATE <i>11-25-2003</i>	DATE <i>11-25-03</i>	DATE <i>11/25/03</i>	DATE <i>11/25/03</i>	DATE <i>12/18/03</i>	DATE <i>12-17-03</i>

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN ENERGY COMPANY

PREPARED BY
VERBEKE - MEYER
CONSULTING ENGINEERS, P.C.
 DAVENPORT, IOWA
 VMCE 03259

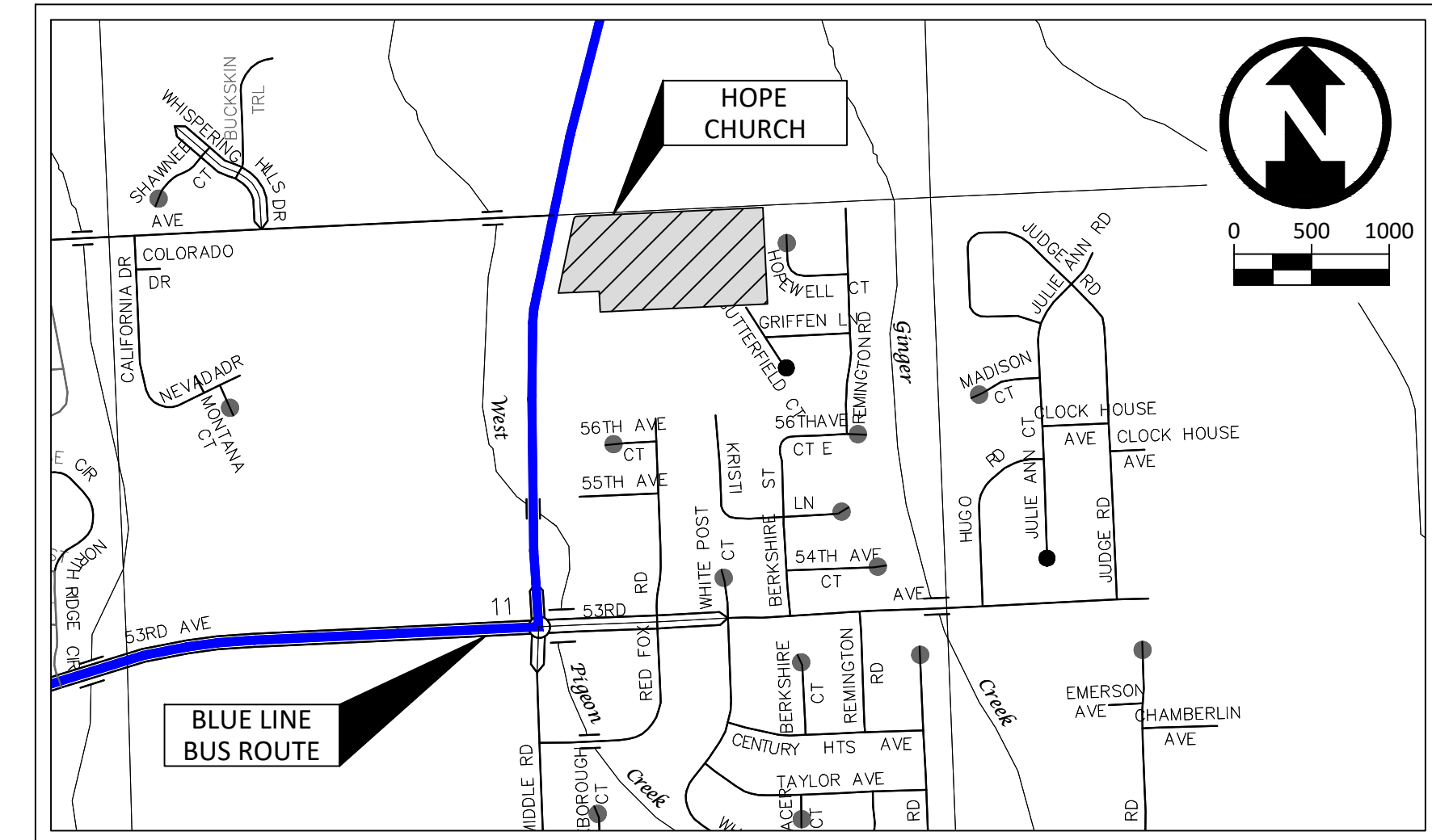
REZONING EXHIBIT

HOPE CHURCH

BETTENDORF, SCOTT COUNTY, IOWA



PROJECT VICINITY MAP - CITY OF BETTENDORF



APPLICANT INFORMATION:

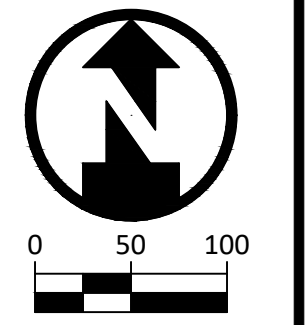
OWNER: FIRST ASSEMBLY OF GOD 1811 18TH STREET BETTENDORF, IOWA 52722	APPLICANT: CT CREEK 3480 GLENBROOK CIRCLE NORTH BETTENDORF, IOWA 52722-4978	PREPARED BY: AXIOM CONSULTANTS, LLC C/O BRIAN BOELK 60 E. COURT STREET, UNIT 3 IOWA CITY, IOWA 52240 319-519-6220 BBOELK@AXIOM-CON.COM
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LEGAL DESCRIPTION:

LOT 1 OF HOPEWELL FARM FIRST ADDITION AS RECORDED IN DOCUMENT #2003-64452, CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

ZONING INFORMATION:

CURRENT ZONING: A-1
 PROPOSED ZONING: R-3



REV	DATE	DESCRIPTION OF CHANGES

PROJECT NAME: HOPE CHURCH BETTENDORF, IA	CLIENT NAME: CT CREEK
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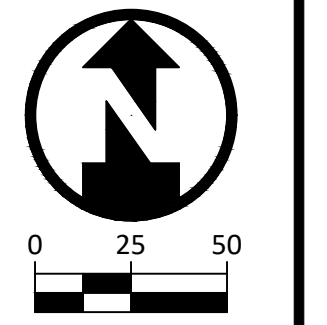
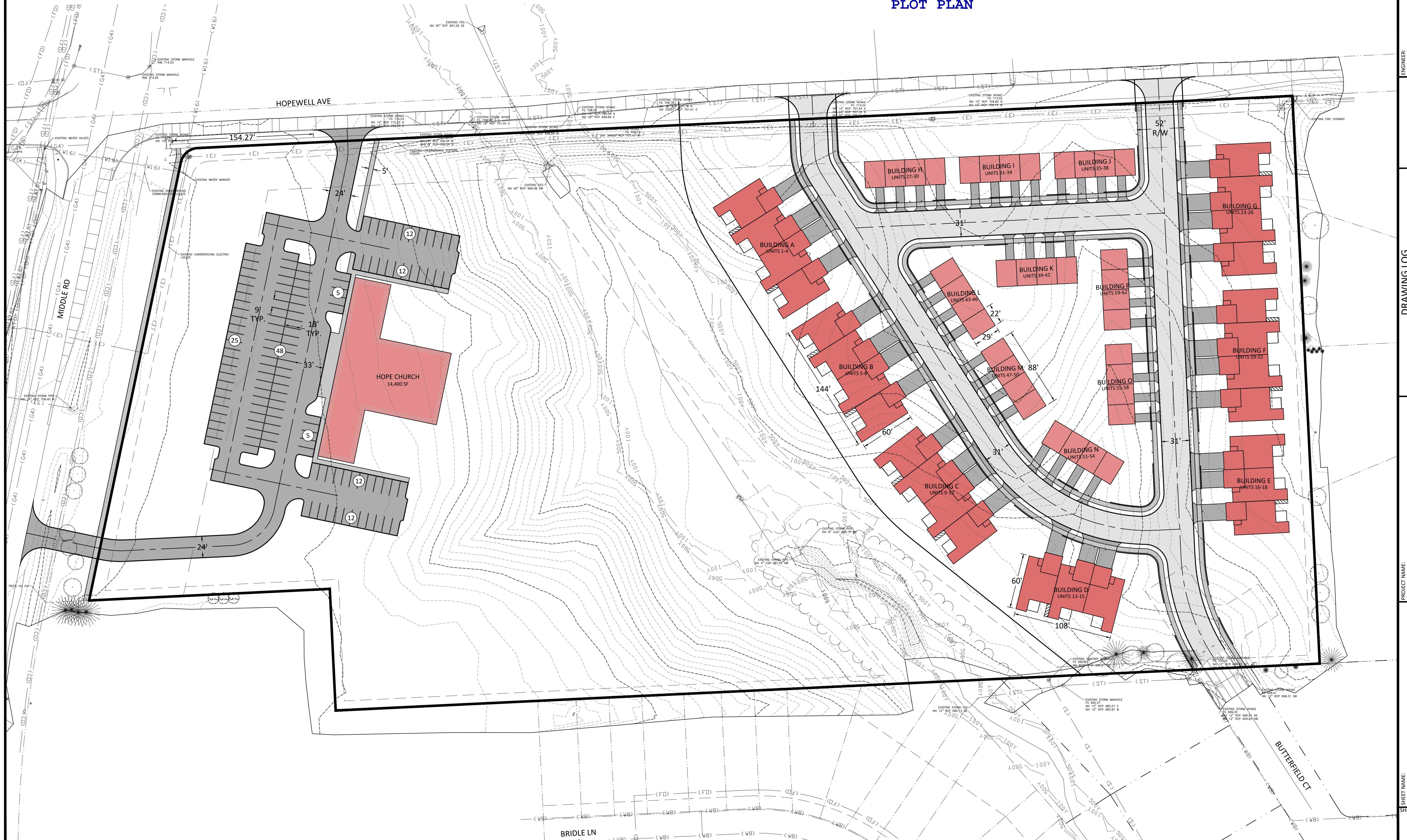
SHEET NAME: REZONING EXHIBIT	DESIGN PROFESSIONAL: BOELK
SHEET NO.: 230008	SHEET NUMBER:



CONCEPT SITE PLAN

HOPE CHURCH
BETTENDORF, SCOTT COUNTY, IOWA

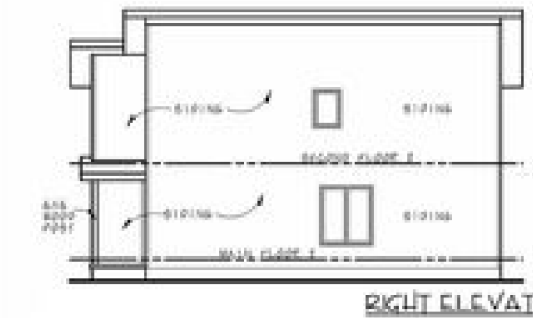
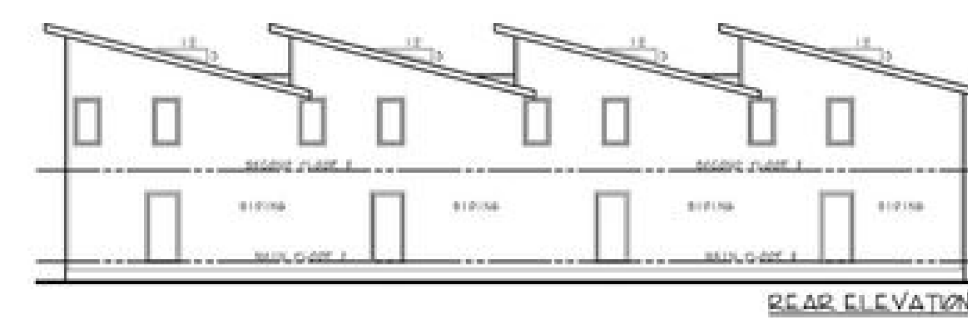
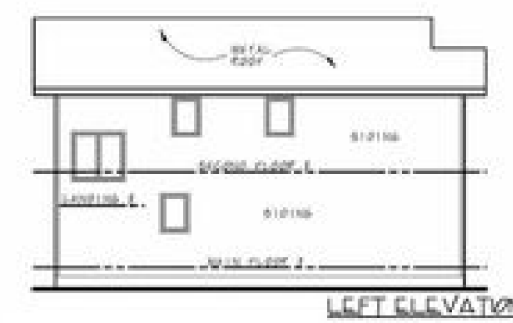
PLOT PLAN



REV	DATE	DESCRIPTION OF CHANGES

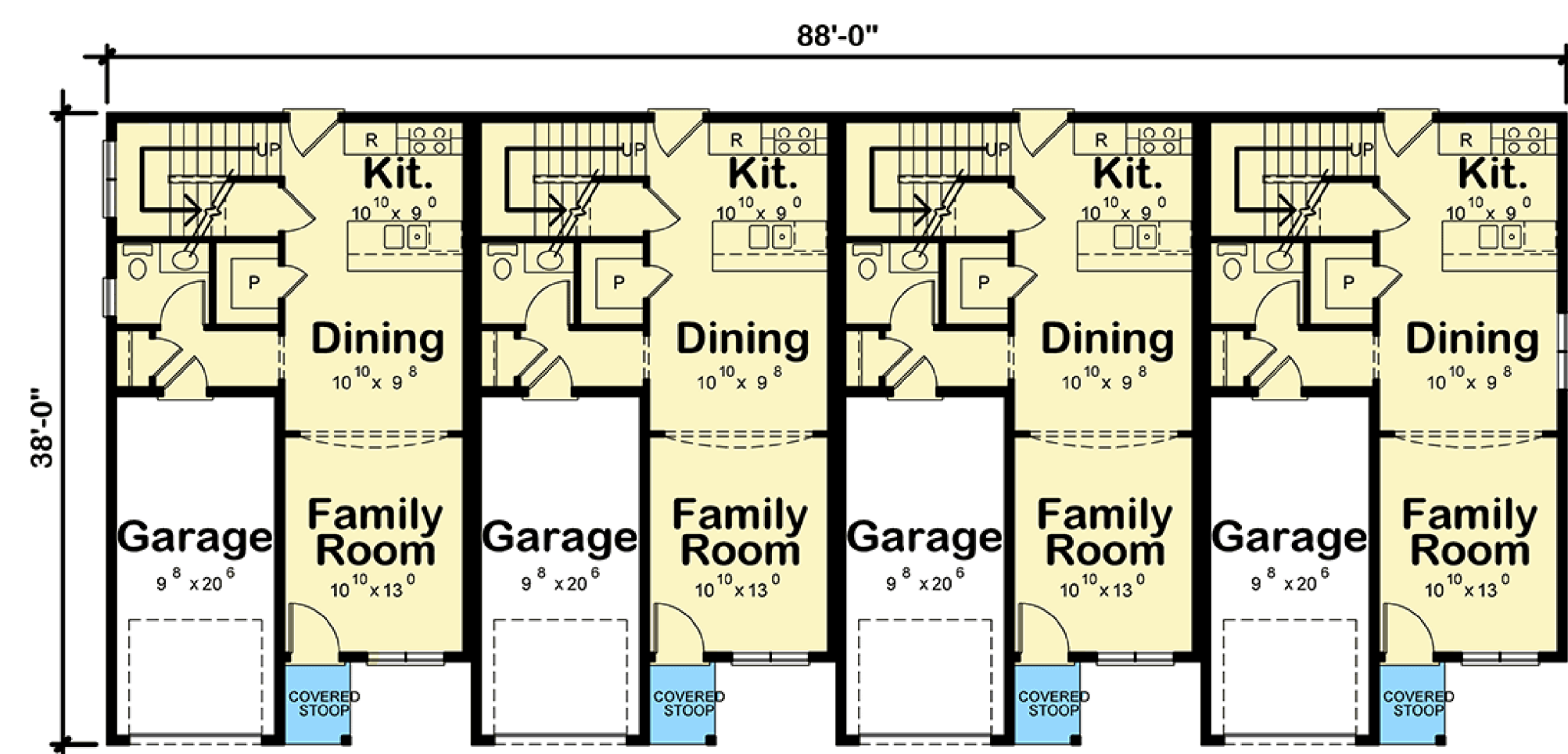
PROJECT NAME: HOPE CHURCH BETTENDORF, IA
CLIENT NAME: CT CREEK

SHEET NAME: CONCEPT SITE PLAN	DESIGN PROFESSIONAL: BOELK
SHEET NO.: 230008	SHEET NUMBER: A.21

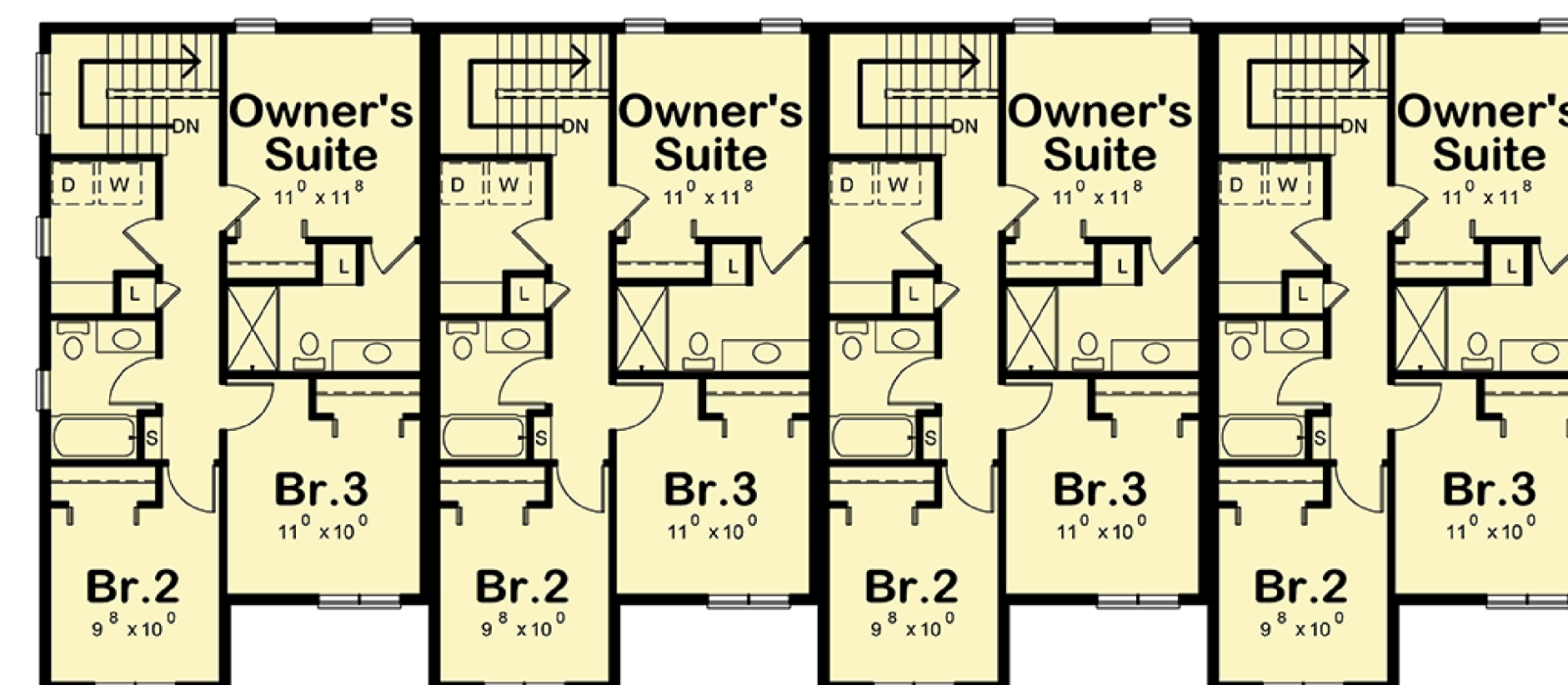


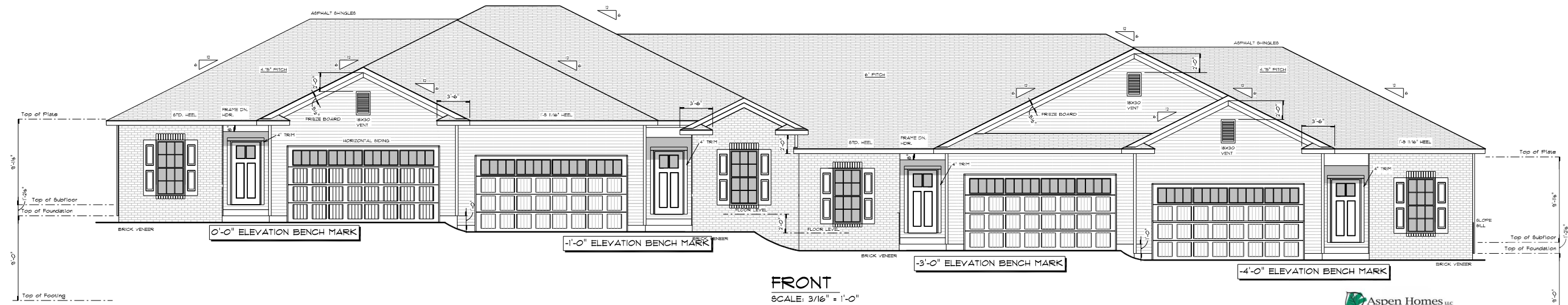
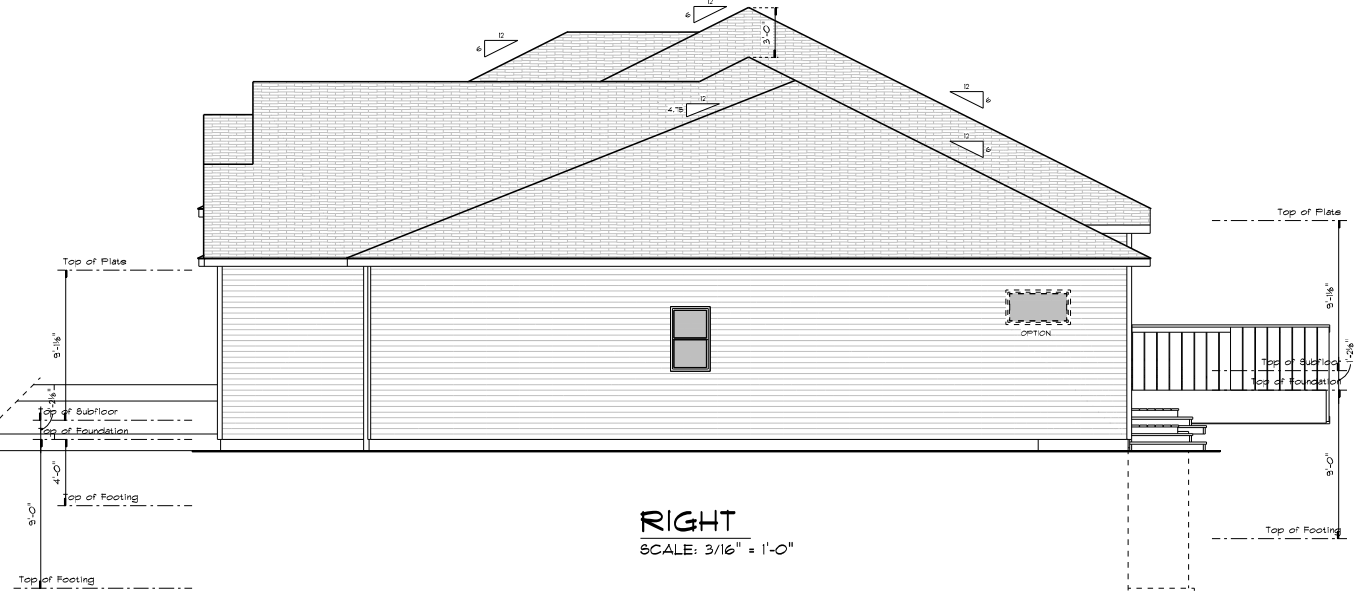
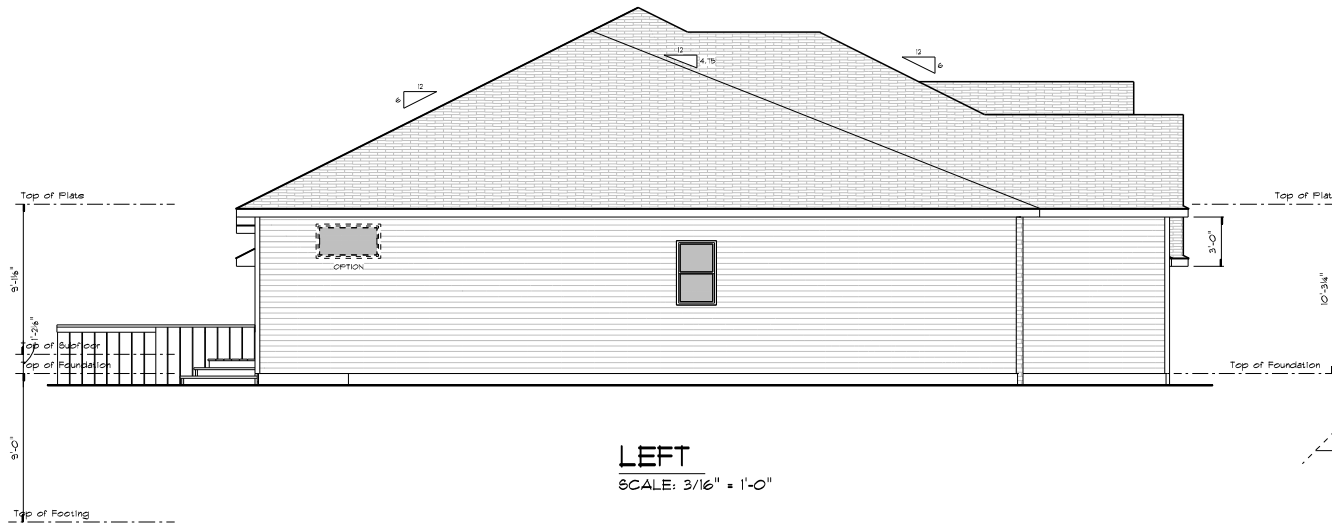
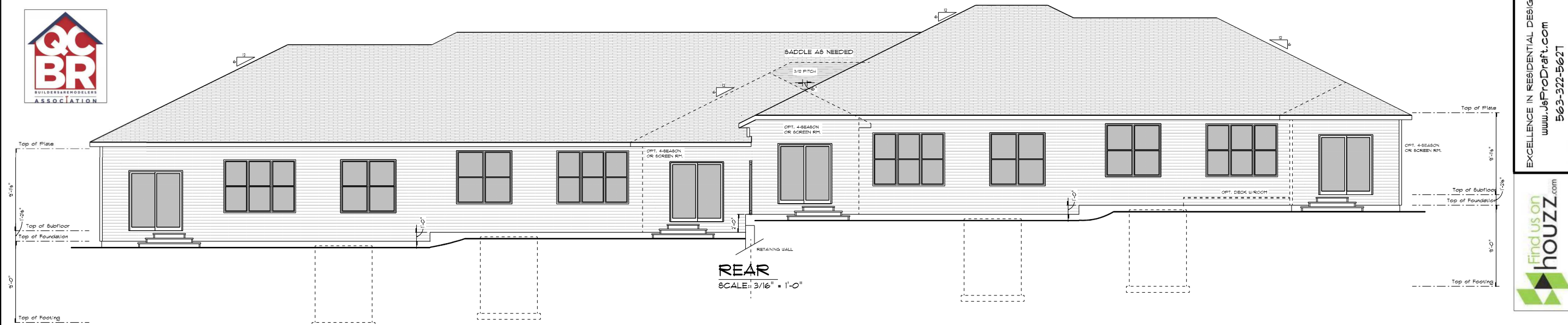
Floor Plans

Main Level



2nd Floor





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ASPEN HOMES L.L.C.
4-UNIT CONDO FINAL

ORIGINAL DATE	2/19/2019
2/11/2020	
REVISIONS	
01/23/2020	
2/3/2020	
2/10/2020	
2/11/2020	

3
5
ELEVATIONS



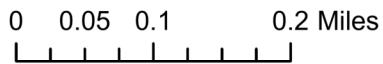
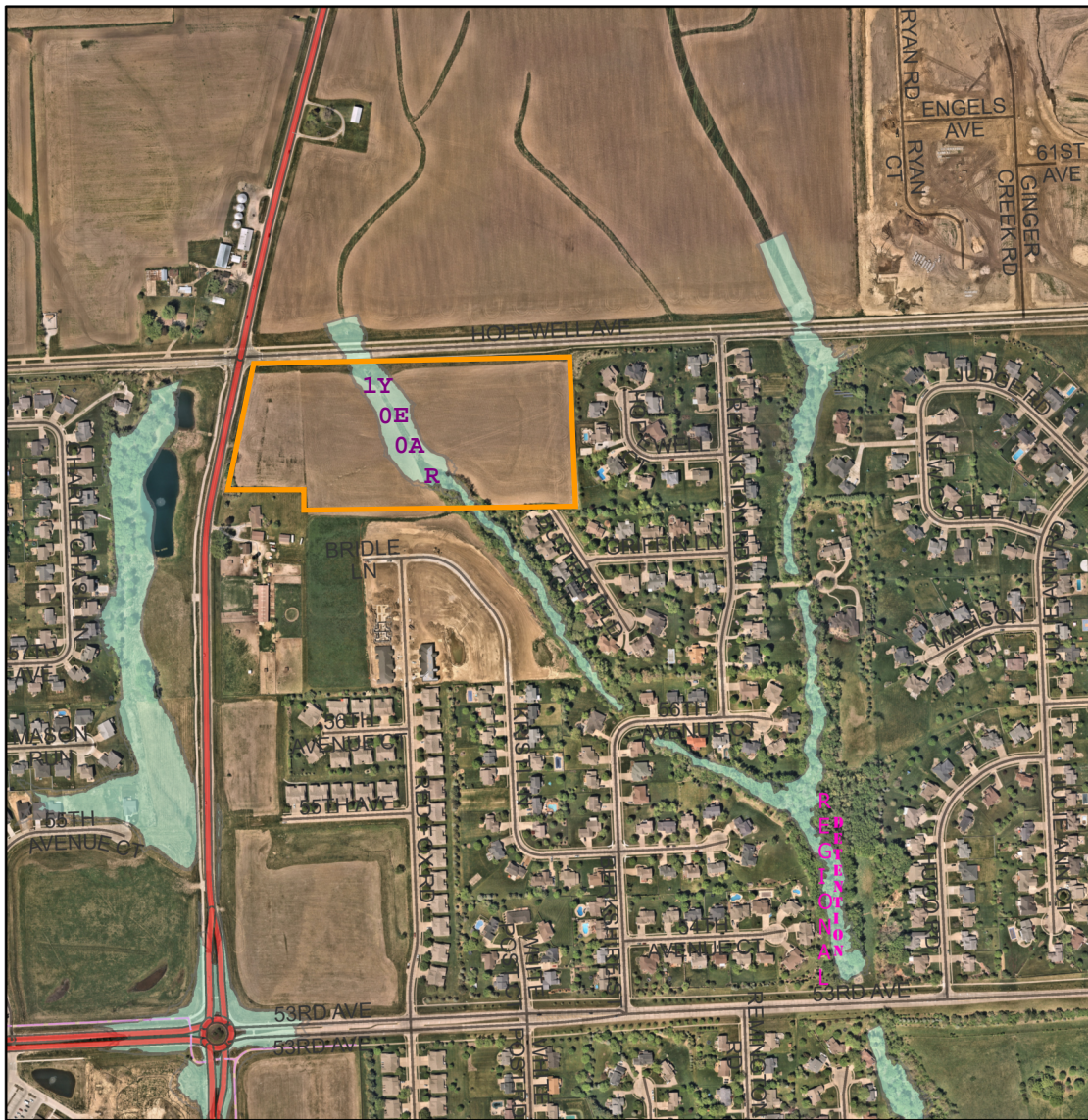


CONCEPTUAL RENDERING
HOPE CHURCH

2023.02.23

POINT 
BUILDERS
BUILDING INNOVATIVE SOLUTIONS

VANTAGE
ARCHITECTS



By Class
RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway

— <all other values>

■ ■ ■ City Limits

— Creeks

■ Ponds and Lakes

Flood Zone

FLD_ZONE

■ 0.2 PCT ANNUAL CHANCE FLOOD HAZARD

■ A

■ AE

■ AREA NOT INCLUDED

■ X

■ X PROTECTED BY LEVEE

■ <all other values>

STAFF REPORT

Subject: 2570 Middle Road - SDP
Author: Greg Beck
Department: Community Development
Date: March 15, 2023

Case No.: 23-012
Request: Site Development Plan for Commercial Strip Mall
Location: 2570 Middle Road
Legal Description: Lot 3, Ewing Bettendorf First Addition (Parcel #: 842123203)
Applicant: Switch Homes of Dubuque
Current Zoning: C-2, Community Commercial District
Future Land Use: CC, Community Commercial

Background Information & Facts

Switch Homes has submitted a site development plan for 2570 Middle Road (Lot 3, Ewing Bettendorf First Addition). The proposal calls for a roughly 12,000 square foot strip mall. The lot borders Middle Road (see Aerial Photo, Attachment A). The site has been zoned C-2 for several years (see Zoning Aerial, Attachment B). The future land use is listed as Community Commercial in the 2017 Comprehensive Plan (see Future Land Use Aerial, Attachment C).

Future Land Use and Comprehensive Plan

The existing C-2 zoning district classification is consistent with the Community Commercial future land use designation. The proposed use of the site is allowed in the C-2 zoning district. Other similar uses exist nearby along Spruce Hills Drive and in the Cumberland Square Mall area. The proposed development is supportive of the Comprehensive Plan Goal C: Attract and Retain Business and Industry.

Lot Configuration & Zoning Compliance

The proposed development will be located on Lot 3 of Ewing Bettendorf First Addition (see Final Plat, Attachment D). The plat of Northwest Corners conditions the access to the lot under consideration for development (see Final Plat, Attachment E). The proposed development is code-compliant regarding density requirements. Some excavation of the site will be required to allow removal of vegetation from the northwest portion of the site (see Demolition Plan, Attachment F). The site development plan shows the building facing west in an elongated manner (see Site Development Plan, Attachment G). Elevations show the building divided into several units, but the developer has indicated that the building will have only 3 (see Elevations, Attachment H). A restaurant is proposed on the north side of the building which includes a drive-up window and an outdoor service area.

Utilities

Utilities will mainly come from the Middle Road side of the development. Water supply will be accessed from the north. Sanitary sewer will flow toward the north.

Thoroughfare Plan & Access

Access directly from this lot to Middle Road is prohibited because of the high traffic volume and line of sight issues. A shared access as shown on the Northwest Corners plat showing both access points to originate in the Northwest Bank parking lot.

Pedestrian and Trail Access

Pedestrian access is along Middle Road. The recreational trail along Middle Road is on the south side.

Off-Street Parking

Presently parking for the site complies with the Zoning Ordinance. Any changes to the use or subdivision of the building shall require evaluation of parking facilities on site.

Stormwater Detention

Storm water detention is met with the basin in the south portion of the lot. All calculations shall be approved by the City Engineer prior to the issuance of building permits. A water quality feature will also be a part of the detention pond. Storm water will be conveyed to the City's storm sewer along Middle Road.

Landscaping

Required landscaping is 7 tree factors to be planted in the streetscape area facing Middle Road. 4 tree factors are required in the vehicular use areas of this site.

Lighting

A light diagram is provided and shows the range of the illumination on site (see Illumination Plan, Attachment I). All lighting shall be downcast and is not permitted to illuminate any area beyond Lot 3.

Floodplain

No flood plain encroaches onto the site.

Staff Recommendation

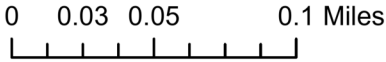
Staff contends multi-unit commercial buildings are appropriate fronting an arterial street as is seen in nearby development. Staff recommends approval of the site development plan with the following conditions:

1. Permission and easements required from affected property owners for construction on adjoining lots.
2. Provide storm sewer easement agreement as required for the design of an outlet for the detention pond.
3. Relocation of dumpster near closest entry to Middle Road to be determined between property owners.

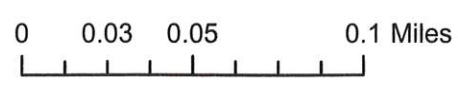
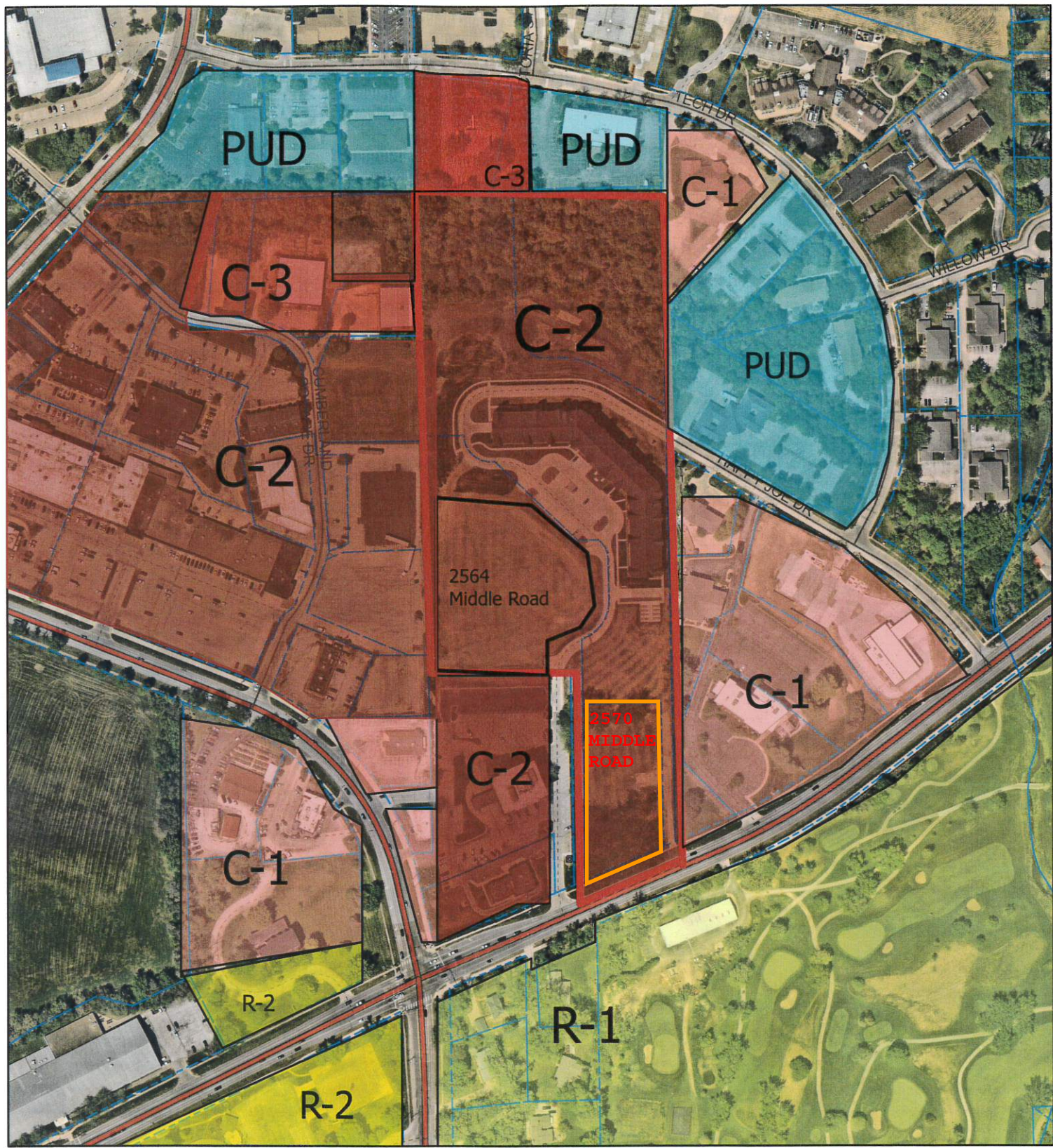
Respectfully Submitted,

Greg Beck
City Planner

ATTACHMENT A

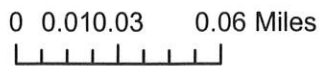
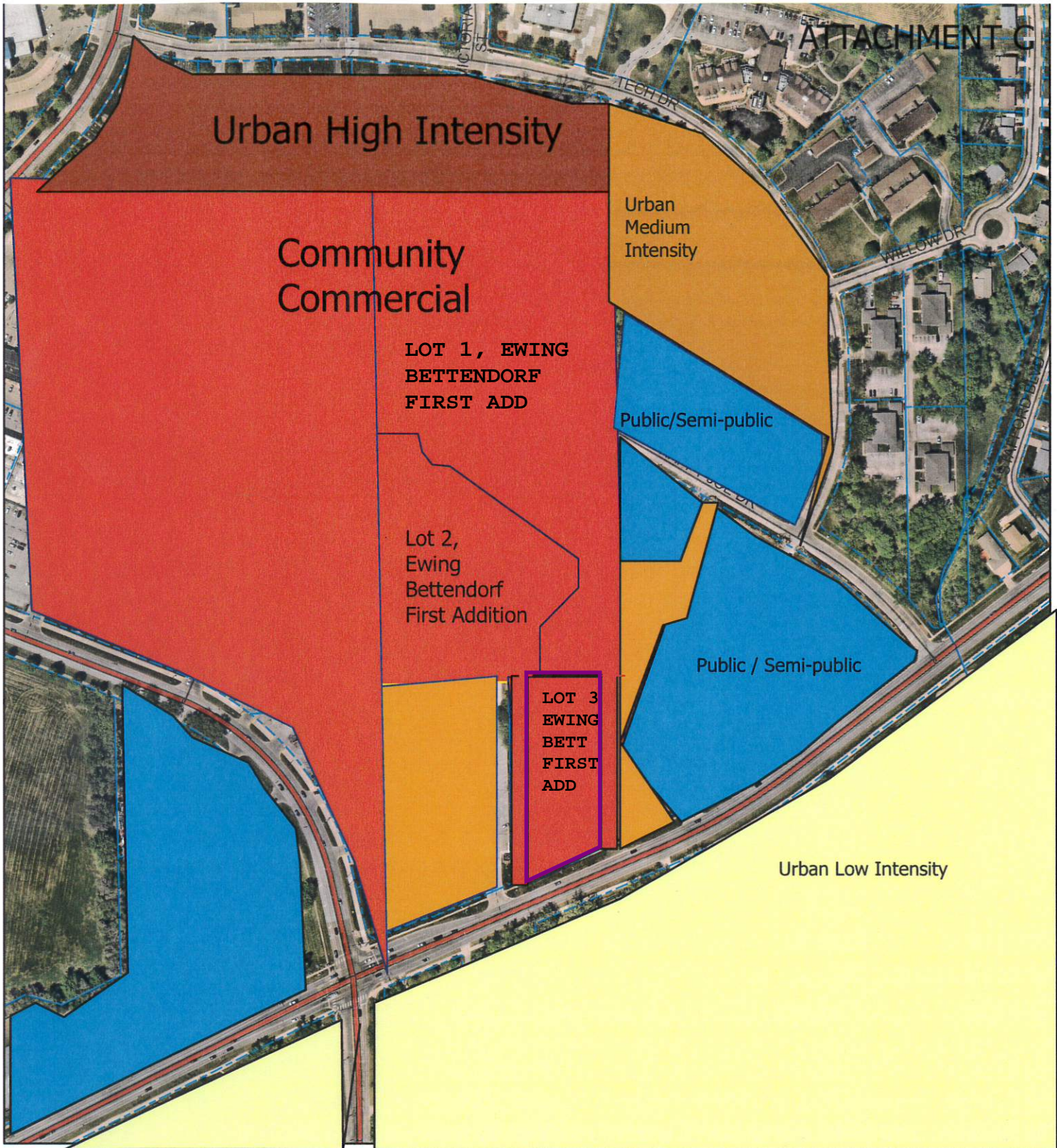


- By Class
RDCLASS
- Alleyway/Access Road
 - - - Bike Trail
 - County Route
 - Driveway
 - Interstate
 - Local road in unincorporated area
 - Local road within incorporated area or Park View
 - Major road
 - Pedestrian trail/walkway
 - Ramp
 - State Highway
 - US Highway
 - <all other values>
 - City Limits
 - Property Lines



By Class
RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>
- City Limits
- Property Lines
- Creeks
- Ponds and Lakes



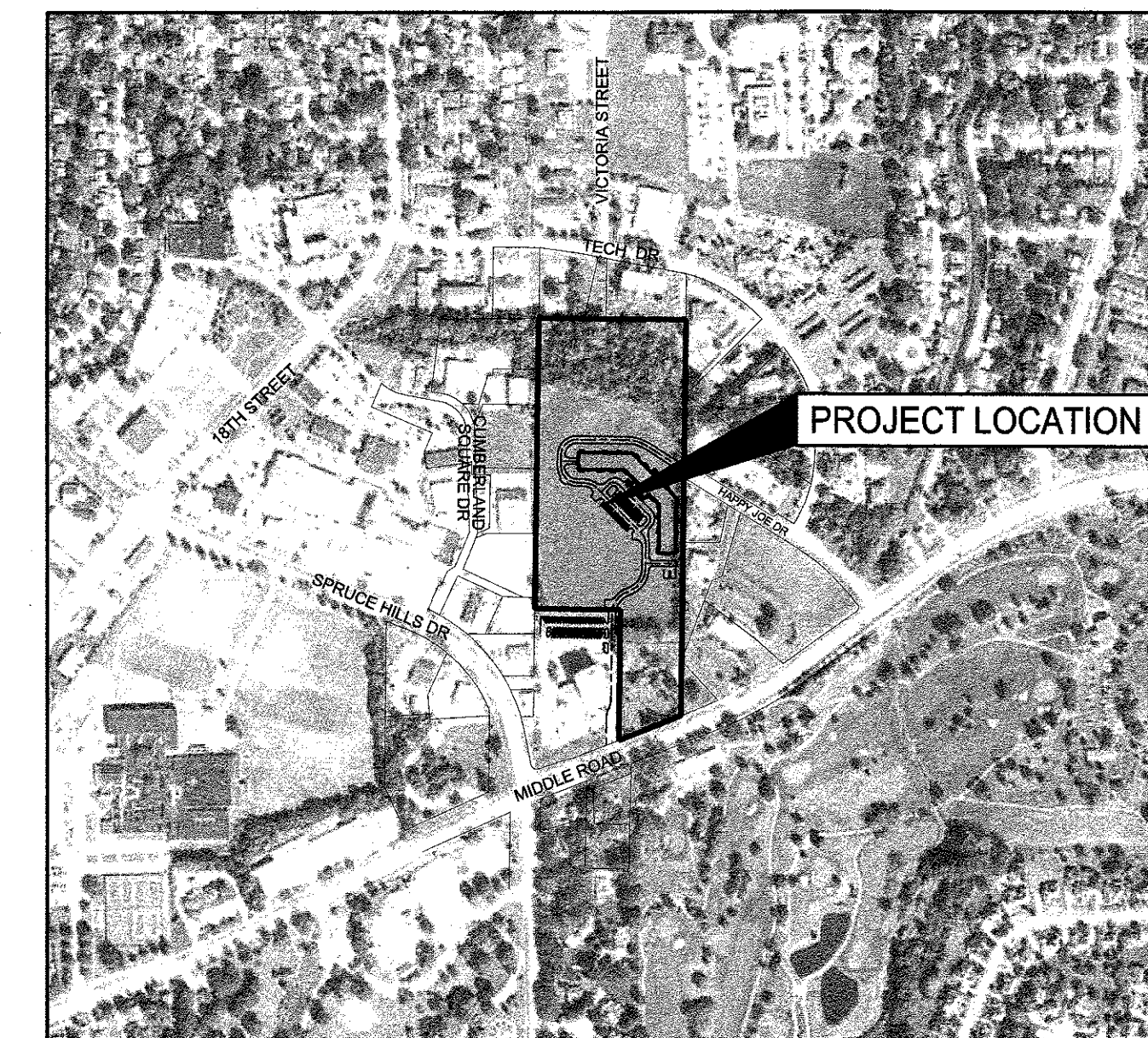
**By Class
RDCLASS**

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
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- Major road
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- <all other values>
- City Limits
- Property Lines
- Creeks
- Ponds and Lakes

EWING BETTENDORF FIRST ADDITION FINAL PLAT

ATTACHMENT D



VICINITY MAP

1"=200'

AREA ABOVE RESERVED FOR RECORDER'S STAMP

INDEX LEGEND

SURVEYOR'S NAME:
ERIN D. GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
515-964-2020
EGRIFFIN@SNYDER-ASSOCIATES.COM

SERVICE PROVIDED BY:
SNYDER & ASSOCIATES, INC.

SURVEY LOCATED:
SECTION 21-78-4
E 1/2 NE 1/4

REQUESTED BY:
EWING DEVELOPMENT

RETURN TO:
ERIN D. GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023

LEGEND

Survey	Found	Set
Section Corner 1/2" Rebar, Yellow Plastic Cap #19710 (Unless Otherwise Noted)	●	○
ROW Marker	■	□
ROW Rail	■	□
Control Point	⊙	⊙
Bench Mark	⊕	⊕
Platted Distance	— P —	— P —
Measured Bearing & Distance	— B —	— B —
Recorded As	— R —	— R —
Deed Distance	— D —	— D —
Calculated Distance	— C —	— C —
Minimum Protection Elevation	— MPE —	— MPE —
Centerline	— CL —	— CL —
Section Line	— S —	— S —
1/4 Section Line	— 1/4 S —	— 1/4 S —
1/4 1/4 Section Line	— 1/4 1/4 S —	— 1/4 1/4 S —
Easement Line	— E —	— E —

CENTURY LINK

BY *[Signature]*

DATE 4 30 2020

MID AMERICAN ENERGY COMPANY

BY *[Signature]*

DATE 4-30-2020

IOWA-AMERICAN WATER CO.

BY *[Signature]*

DATE 4-30-2020

MEDIACOM

BY *[Signature]*

DATE 4-30-20

PLAN & ZONE COMMISSION

BY *[Signature]*

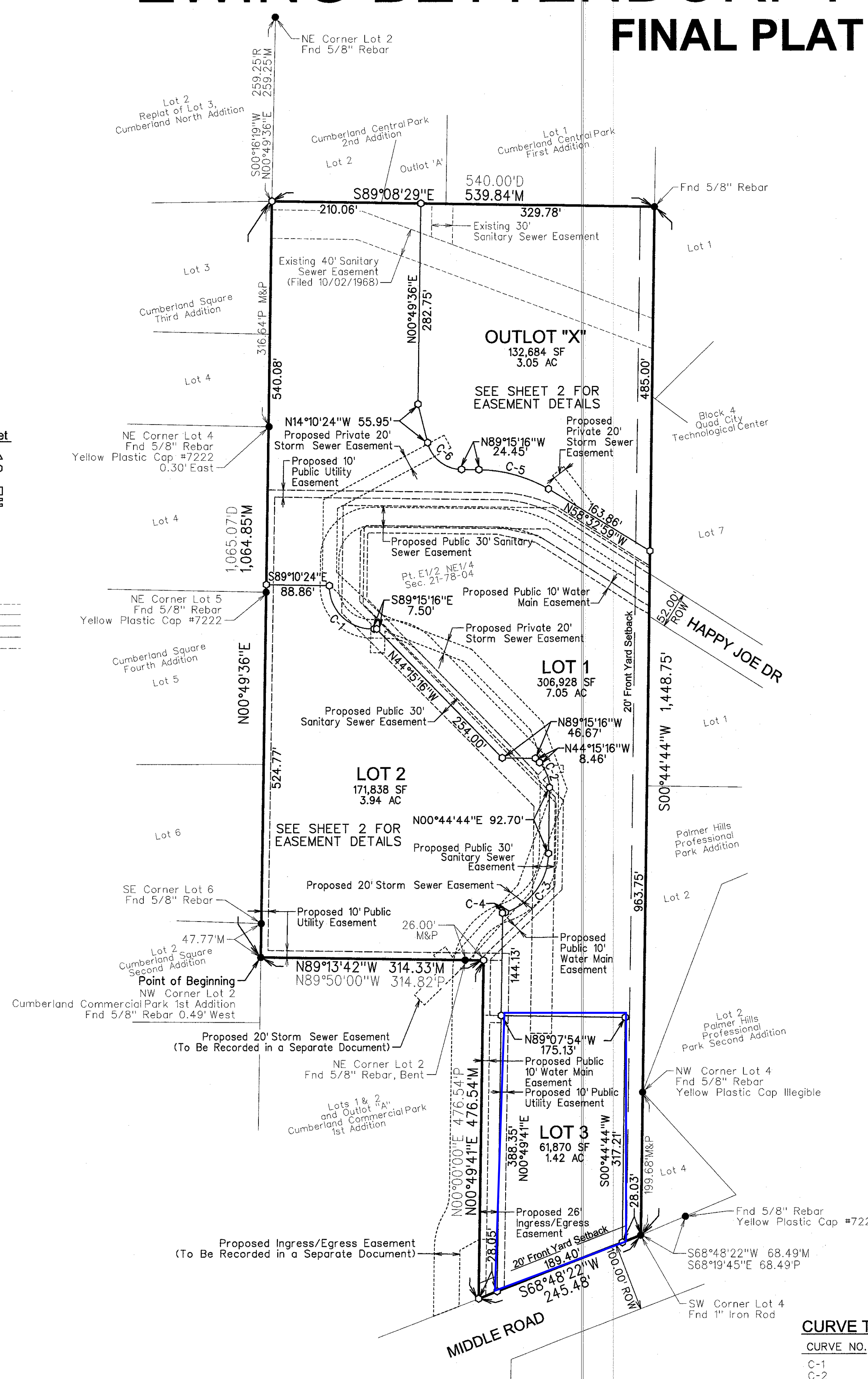
DATE 5-5-2020

CITY OF BETTENDORF, IOWA

BY *[Signature]*

ATTED *[Signature]*

DATE 5-5-20



PLAT DESCRIPTION

A PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., CITY OF BETTENDORF, SCOTT COUNTY, IOWA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 2, CUMBERLAND COMMERCIAL PARK 1ST ADDITION, AN OFFICIAL PLAT; THENCE NORTH 00°49'36" EAST ALONG THE EAST LINE OF CUMBERLAND SQUARE 2ND ADDITION AND CUMBERLAND SQUARE 4TH ADDITION, 1064.85 FEET TO THE SOUTHWEST CORNER OF LOT 2, CUMBERLAND CENTRAL PARK 2ND ADDITION, AN OFFICIAL PLAT; THENCE SOUTH 89°08'29" EAST ALONG THE SOUTH LINE OF SAID CUMBERLAND CENTRAL PARK 2ND ADDITION, 539.84 FEET TO THE SOUTHEAST CORNER OF LOT 1 OF SAID CUMBERLAND CENTRAL PARK 2ND ADDITION; THENCE SOUTH 00°44'44" WEST ALONG THE WEST LINE OF QUAD CITY TECHNOLOGICAL CENTER AND PALMER HILLS PROFESSIONAL PARK, OFFICIAL PLATS, 1448.75 FEET TO THE NORTH RIGHT OF WAY LINE OF MIDDLE ROAD; THENCE SOUTH 68°48'22" WEST ALONG SAID NORTH RIGHT OF WAY LINE, 245.48 FEET TO THE SOUTHEAST CORNER OF OUTLOT "A" OF SAID CUMBERLAND COMMERCIAL PARK 1ST ADDITION; THENCE NORTH 00°49'41" EAST ALONG THE EAST LINE OF SAID OUTLOT "A", 476.54 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT "A"; THENCE NORTH 89°34'42" WEST ALONG THE NORTH LINE OF SAID OUTLOT "A" AND LOT 2, A DISTANCE OF 314.33 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.46 ACRES (673,320 S.F.).

DATE OF SURVEY

SEPTEMBER 4, 2019

OWNER/DEVELOPER

EWING LAND DEVELOPMENT AND SERVICES LLC
2521 WASHINGTON STREET
PELLA, IOWA 50219
CONTACT: HEATHER ROPP
PHONE: 641-628-0073

ZONING

C-2 COMMUNITY COMMERCIAL DISTRICT

BULK REGULATIONS

MAXIMUM HEIGHT =10 STORIES
FLOOR AREA RATIO =400%
FRONT YARD SETBACK =20 FEET
REAR YARD SETBACK =NONE
SIDE YARD SETBACK =NONE

BASIS OF BEARING

THE WEST LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21 IS ASSUMED TO BEAR N00°49'36" EAST.

ACRES

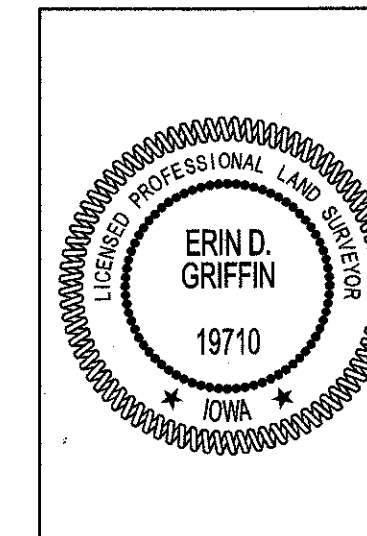
15.46 ACRES

NOTES

- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLES, GAS SERVICE, WATER SERVICE, SEWER LATERAL, TELEPHONE SERVICE AND CABLE T.V. SERVICE TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF THE CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- LOT 1 AND LOT 3 ACCESS SHALL ONLY BE THROUGH THE DRIVEWAY ON LOT 2 OR THE NORTHWEST BANK SITE (LOT 1, CUMBERLAND COMMERCIAL PARK FIRST ADDITION). NO ACCESS TO MIDDLE ROAD WILL BE ALLOWED.
- THE MAINTENANCE OF OUTLOT "X" AND DETENTION BASIN SHALL BE SHARED BETWEEN LOTS 1 AND 2.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP, HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/DISTANCE
C-1	90°00'41" RT	60.00'	94.26'	60.01'	N44°15'23"W 84.86'
C-2	45°00'00" RT	50.00'	39.27'	20.71'	S21°45'16"E 38.27'
C-3	71°22'48" RT	88.00'	109.63'	63.21'	S36°26'08"W 102.66'
C-4	02°33'03" RT	88.00'	3.92'	1.96'	N7°05'10"E 3.92'
C-5	30°42'17" RT	200.00'	107.18'	54.91'	S73°54'08"E 105.90'
C-6	75°04'52" RT	50.00'	65.52'	38.42'	N51°42'50"W 60.93'



I hereby certify that this land surveying document was prepared and the related survey work was supervised and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.
Erin D. Griffin, PLS
Date 4/9/20

License Number 19710
My License Renewal Date is December 31, 2019
Pages or sheets covered by this seal:
Sheets 1 & 2 of 2

EWING BETTENDORF FIRST ADDITION



Project No: 1190191

Sheet 1 of 2

FINAL PLAT

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

REVISED AS PER CITY	REVISOR	DATE	BY
2/25/2020	RMM	11/1/19	JAL
1/09/2020	RMM	11/1/19	JAL
10/7/2020	RMM	11/1/19	JAL
10/7/2020	RMM	11/1/19	JAL

Engineer: JAL Checked By: EDG Scale: 1"=100'
Technician: RMM Date: 09/27/19 Field Bk: Pg: 1
Project No: 1190191

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4/2/2020 1:52:29 PM
P:\Projects\2019\11810181\CON\ADD\11810181_01.dwg
Sheet 2 of 2

CENTURY LINK

BY _____
DATE _____

MID AMERICAN ENERGY COMPANY

BY _____
DATE _____

IOWA-AMERICAN WATER CO.

BY _____
DATE _____

MEDIACOM

BY _____
DATE _____

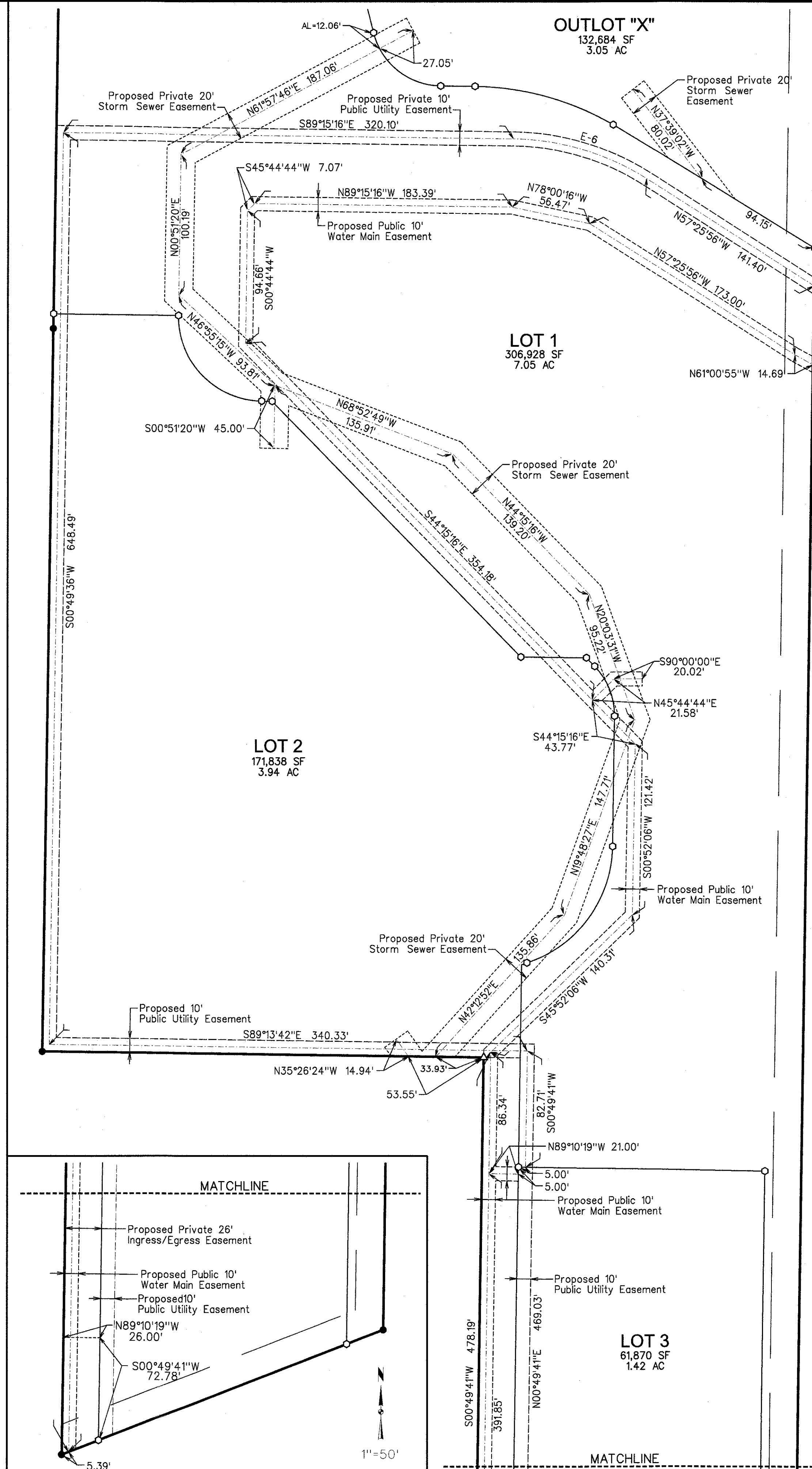
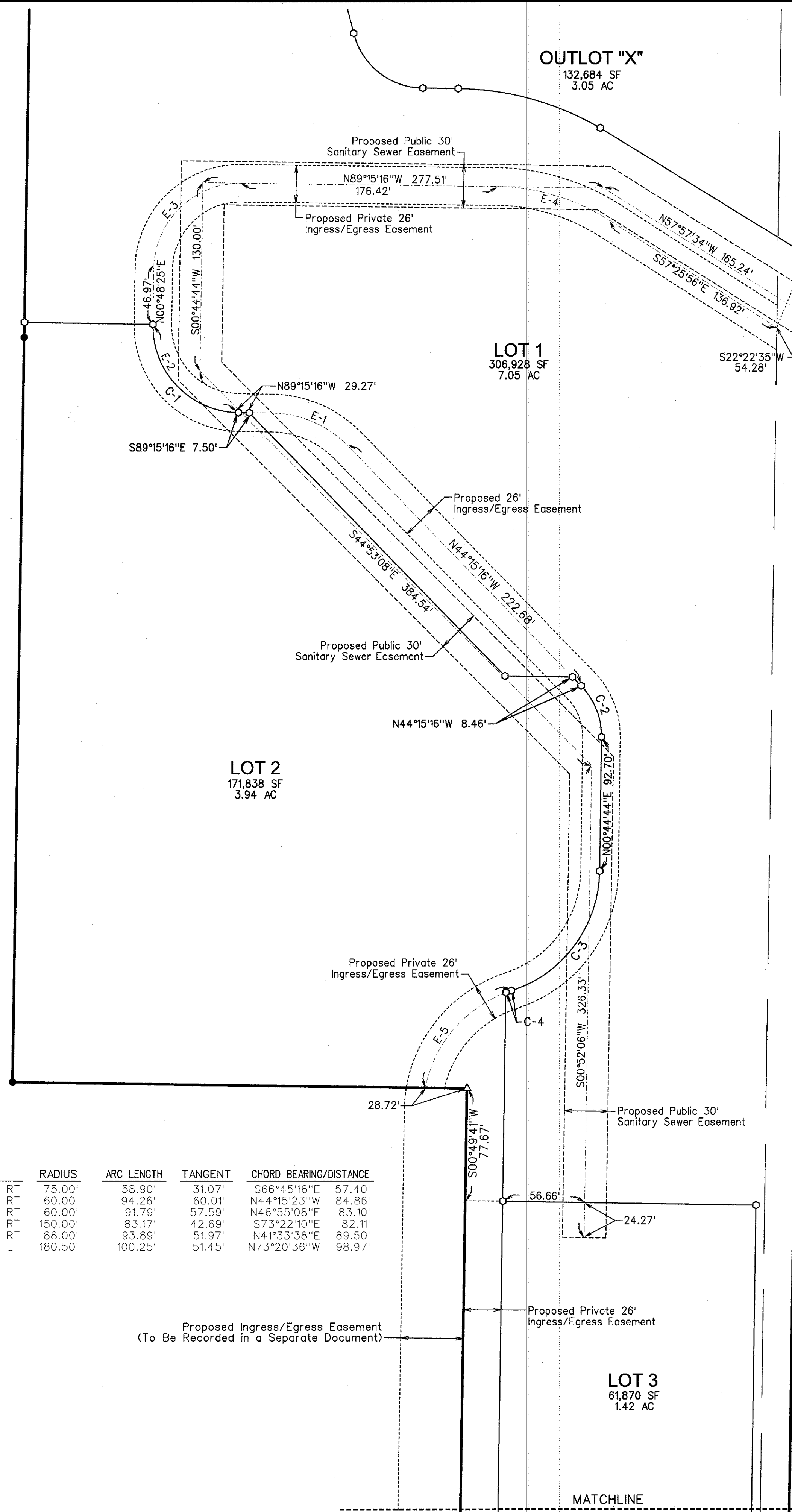
PLAN & ZONE COMMISSION

BY _____
DATE _____

CITY OF BETTENDORF, IOWA

BY *P.S. Galt*
ATTEST *Debra P. Beach*

DATE *5-5-20*



REVISED AS PER CITY	2/25/2020 RMM	Field Bk:	190191	Project No:	190191	Sheet 2 of 2
REVISED ZONING	1/09/2020 RMM	Checked By:	JAL	Engineer:	JAL	Scale: 1"=50'
REVISED PER CITY COMMENTS	1/07/2020 RMM	Date:	09/27/19	Technician:	RMM	Field Bk:
REVISED PER CITY COMMENTS	11/1/19 RMM	DATE		BY		
MARK		REVISION				

BETTENDORF, IA
FINAL PLAT - EASEMENT DETAIL
SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

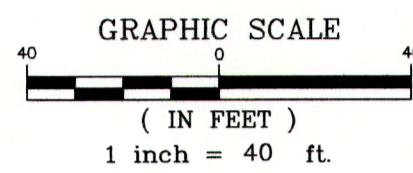
Project No: 190191
Sheet 2 of 2

PLAT OF SUBDIVISION NORTHWEST CORNERS

A RESUBDIVISION OF CUMBERLAND COMMERCIAL PARK 1ST ADDITION,
ACCORDING TO THE PLAT THEROF AS RECORDED AS DOC. NO. 18240-79 AND PART OF THE SE 1/4
NW 1/4 OF SEC. 21-78-4 OF THE 5TH PM;
CITY OF BETTENDORF, SCOTT COUNTY, IOWA

LEGEND

- SET IRON ROD WITH GREEN PLASTIC CAP, #18465
- ▲ SET 4" MAGSPIKE
- ✕ SET CUT "X"
- FOUND AS NOTED
- 323.59' MEASURED DISTANCE RECORD DISTANCE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE



NOTES:

- ALL CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR THE CITY OF BETTENDORF, IA.
- CURB RADIUS AT ALL NEW ENTRANCES AND INTERSECTIONS SHALL BE 25'.
- SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES. INSTALLATION OF SIDEWALKS SHALL OCCUR WHEN THE ABUTTING PROPERTY (LOT) IS DEVELOPED OR WHEN SO ORDERED BY THE CITY.
- NO PART OF SUBDIVISION LIES WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAPS.
- ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE, AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- BLANKET RECIPROCAL INGRESS-EGRESS EASEMENTS OVER AND ACROSS ALL LOTS

ZONING & LOT INFORMATION:

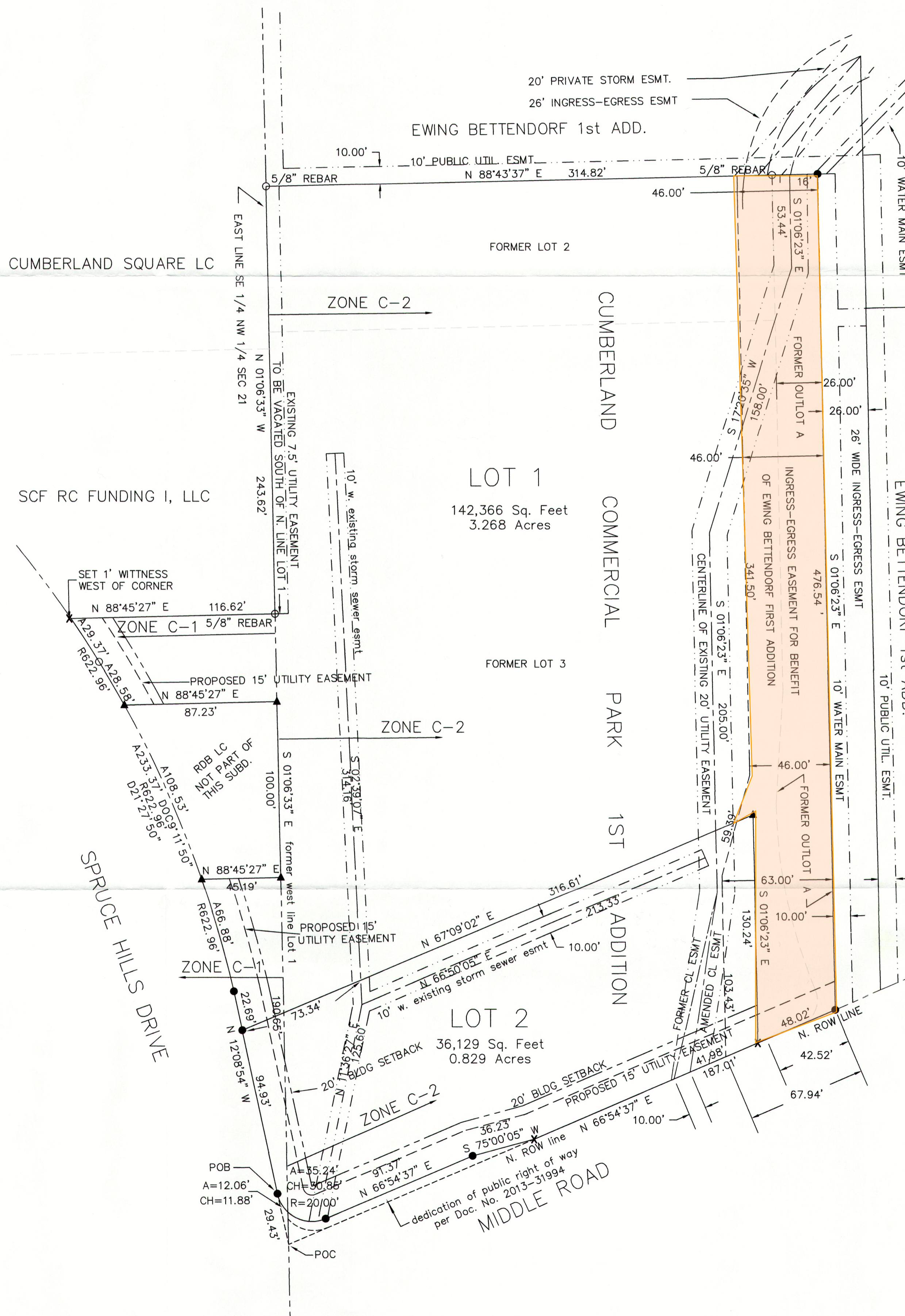
CURRENT ZONING: C-1: PART OF LOTS 1 & 2 WEST OF THE SECTION LINE
C-2: LOT 1, AND PART OF LOT 2 EAST OF THE SECTION LINE

TOTAL NUMBER OF LOTS: 2
TOTAL SITE ACREAGE: 4.097 ACRES

NOTE:

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.

CHANGES IN THE PLAT WHICH AFFECT THE PLACEMENT OF UTILITY FACILITIES ARE TO BE REVIEWED AND APPROVED BY THE AFFECTED UTILITIES AND ANY CHANGES WHICH RESULT IN THE RELOCATION OF UTILITY FACILITIES SHALL BE AT THE EXPENSE OF THE PARTY REQUESTING THE CHANGE.



WE, DS Gallager, MAYOR, AND Dave P. Roeder, CITY CLERK OF THE CITY OF BETTENDORF, IOWA, DO HEREBY CERTIFY THAT THE FOLLOWING RESOLUTION WAS ADOPTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, AT A REGULAR MEETING HELD ON November 17, 2020:

RESOLVED BY THE CITY COUNCIL OF BETTENDORF, IOWA, THAT THE PLAT OF NORTHWEST CORNERS, AN ADDITION TO THE CITY OF BETTENDORF, IOWA, AS FILED WITH THE CITY CLERK BY NORTHWEST BANK & TRUST COMPANY AND NIC, LLC, BE THE SAME IS HEREBY APPROVED AND ACCEPTED; AND THE DEDICATION AND GRANTING OF EASEMENTS (AND THE VACATION OF EXISTING EASEMENTS AS MAY BE SHOWN) ON SAID PLAT ARE ACCEPTED AND CONFIRMED AND THE MAYOR AND CITY CLERK OF SAID CITY BE AND THEY HEREBY ARE AUTHORIZED AND DIRECTED TO CERTIFY THE ADOPTION OF THIS RESOLUTION ON SAID PLAT AS REQUIRED BY LAW.

DATED AT BETTENDORF, IOWA, THIS 18th DAY OF December, 2020.

DS Gallager
MAYOR OF THE CITY OF BETTENDORF, IOWA

ATTEST:
Dave P. Roeder
CITY CLERK

[Signature]
PLANNING AND ZONING COMMISSION

MID AMERICAN ENERGY COMPANY

BY: [Signature]
DATE: 12-16-20

IOWA-AMERICAN WATER COMPANY

BY: [Signature]
DATE: 12-16-2020

CENTURYLINK

BY: [Signature]
DATE: 12-15-2020

MEDIACOM

BY: [Signature]
DATE: 12-15-2020

CITY OF BETTENDORF, IOWA

BY: Dave P. Roeder
DATE: 12-18-20

PLANNING AND ZONING COMMISSION

BY: [Signature]
DATE: 12-16-20

OWNER/DEVELOPER

Northwest Bank & Trust Company
100 East Kimberly Rd, Davenport, IA 52806
Ph: 563-388-2500
Contact: Joe Slavens
JBSlavens@northwestbank.com

NIC LLC
4 Woodview Way, Davenport, IA 52807
Ph: 563-388-2500
Contact: Joe Slavens
JBSlavens@northwestbank.com

ATTORNEY

Pastrnak Law Firm
313 W 3rd St Davenport, IA 52801
Ph. 563-323-7737

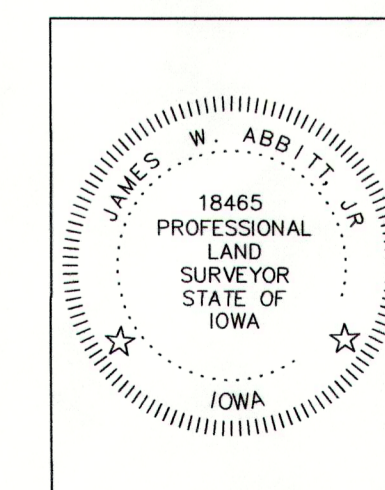
ENGINEER

J+M CIVIL DESIGN
2550 Middle Road, Suite 602
Bettendorf, IA 52722
563-349-0953

SURVEYOR

ABBITT SURVEY & DEVELOPMENT, PLLC
5030 38th AVE., SUITE 19
MOLINE, IL 61265
309-524-3124

jim@abbittsurvey.com



I HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT IOWA MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY AND IT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY PERSONAL SUPERVISION AND THAT I AM A PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

James W. Abbitt, Jr.
PROFESSIONAL LAND SURVEYOR
STATE OF IOWA
DATE: 12-15-20

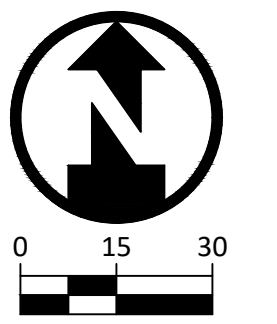
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	10-12-20	PER CITY COMMENT LETTER DATED 10-9-20	JWA
2	10-22-20	DELETED LOT 3, INCORPORATED ITS AREA INTO LOT 1	JWA
2	12-11-20	INGRESS-EGRESS EASEMENT FOR EWING SUBDIVISION	JWA

DATE: 10-5-2020	SCALE: 1" = 40'	DRAWN BY: JRV	CHECKED BY: JWA
PREPARED FOR: J+M CIVIL DESIGN 2550 Middle Road, Suite 602 Bettendorf, IA 52722 563-349-0953	FIELD BOOK: PAGE:	JOB No.:	
DRAWING TITLE: PLAT OF SUBDIVISION	20-233-IABE-BT-J+M		



DEMOLITION PLAN KEYNOTES

- (A) PAVING REMOVAL AREA. FULL DEPTH SAWCUTS ALONG ALL AREAS WHERE ADJACENT PAVEMENT REMAINS.
- (B) EXISTING UTILITY/LIGHT POLE TO REMAIN.
- (C) REMOVE TREES. 34 TOTAL.
- (D) CLEARING AND GRUBBING AREA.

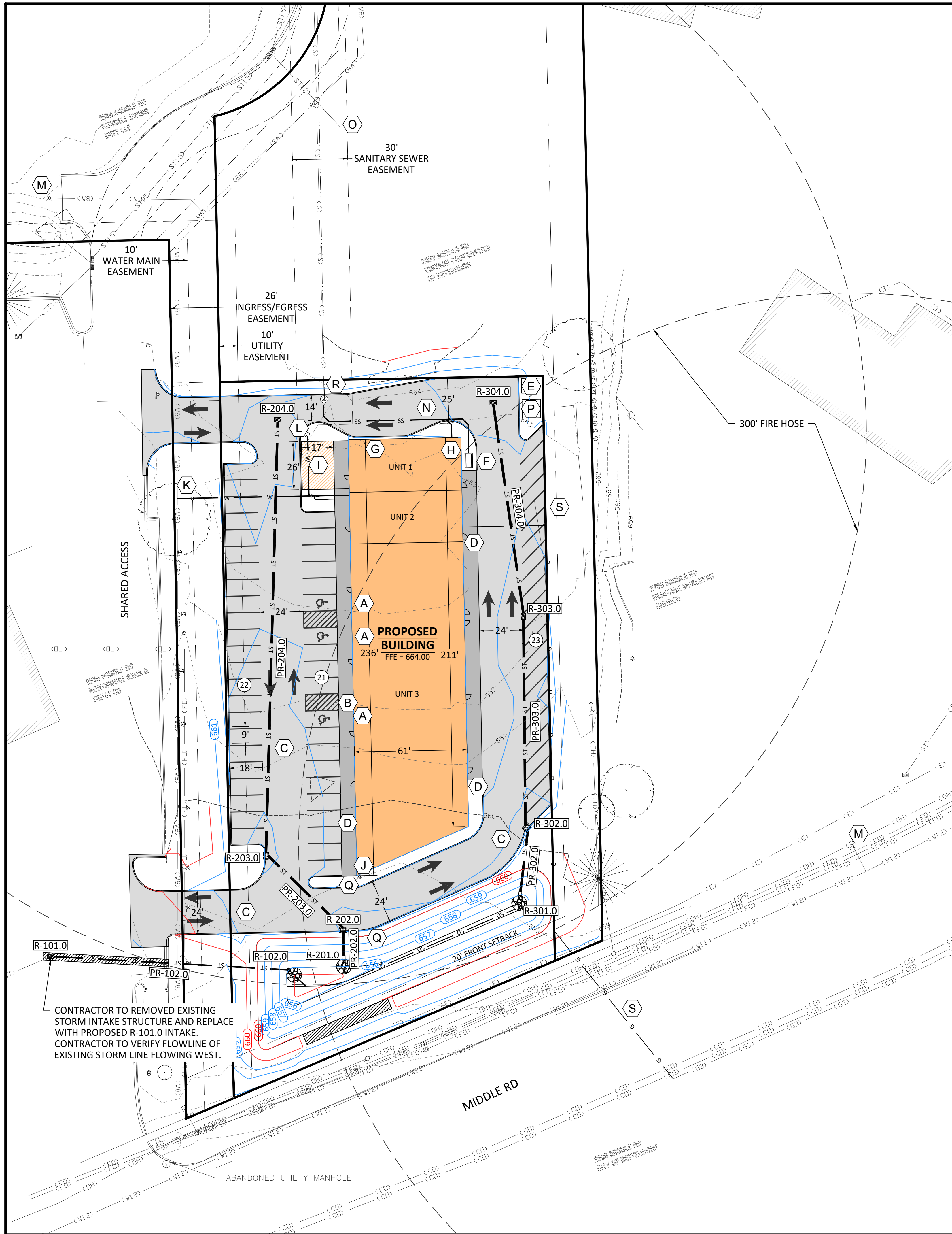


DRAWING LOG	
REV	DATE
A	07/19/2022
DESCRIPTION OF CHANGES	
INTERNAL REVIEW: 70% CD	

PROJECT NAME:	SWITCH COMMERCIAL
	2570 MIDDLE ROAD
	BETTENDORF, IOWA, 52722
CLIENT NAME:	SWITCH DEVELOPMENT

SHEET NAME:	TOPOGRAPHICAL SURVEY & DEMOLITION PLAN
DESIGN PROFESSIONAL:	BOELK
PROJECT NO.:	22-0014

NOT FOR CONSTRUCTION



CONTRACTOR TO REMOVE EXISTING STORM INTAKE STRUCTURE AND REPLACE WITH PROPOSED R-101.0 INTAKE. CONTRACTOR TO VERIFY FLOWLINE OF EXISTING STORM LINE FLOWING WEST.

LOT INFORMATION

LOT SIZE
61,870 SF (1.42 ACRES)

CURRENT ZONING
C-2 COMMERCIAL COMMERCIAL DISTRICT

ZONING REQUIREMENTS
FRONT SETBACK 20'
SIDE SETBACK 0'
SIDE SETBACK, STREET 20'
REAR SETBACK 0'

PARKING REQUIREMENTS

UNIT 1
RESTAURANT 1,000 SF
PARKING REQUIRED 1 SPACE / 50 SF
CUSTOMER SERVICE AREA 29 SPACES

UNIT 2
VET CLINIC 1,680 SF
PARKING REQUIRED 1 SPACE / 500 SF
4 SPACES

UNIT 3
GENERAL OFFICE 9,439 SF
PARKING REQUIRED 1 SPACE / 250 SF
38 SPACES

TOTAL PARKING REQUIRED 76 SPACES
TOTAL PARKING PROVIDED 66 SPACES

GENERAL NOTES

- CONNECT DOWNSPOUTS TO ADJACENT STORM SEWER WITH 6" HDPE. SEE ARCHITECTURAL PLANS FOR LOCATION.
- PVC WATER SERVICE TO HAVE TRACER WIRE IN ACCORDANCE WITH SUDAS AND BETTENDORF WATER DEPARTMENT REQUIREMENTS.

SITE & UTILITY PLAN KEYNOTES

- (A) PROPOSED ADA PARKING SIGN.
- (B) PROPOSED ADA CURB RAMP WITH DETECTABLE WARNING SURFACE. REFER TO SUDAS DETAIL 7030.207.
- (C) PROPOSED PCC HEAVY DUTY PAVEMENT. SEE DETAIL #1, SHEET C-400.
- (D) PROPOSED PCC INTEGRAL SIDEWALK. DEE DETAIL #2, SHEET C-400.
- (E) PROPOSED DUMPSTER ENCLOSURE. SEE DETAIL #1, SHEET C-900.
- (F) PROPOSED GREASE INTERCEPTOR. SEE MECHANICAL PLAN FOR CONTINUATION.
- (G) PROPOSED DRIVE-THRU WINDOW
- (H) PROPOSED ORDER BOARD
- (I) PROPOSED OUTDOOR PATIO SEATING
- (J) PROPOSED FDC LOCATION.
- (K) PROPOSED 104 LF OF 6" PVS SCHEDULE 80 OR CLASS 200 POLYETHYLENE WATER SERVICE TO BUILDING. CONTRACTOR TO PROVIDE CURB STOP 5' FROM FACE OF BUILDING AND SPLIT FOR FIRE AND DOMESTIC. CONNECT TO EXISTING WATER MAIN PER IOWA AMERICAN WATER AND CITY OF BETTENDORF REQUIREMENTS. SEE PLUMBING PLANS FOR CONTINUATION.
- (L) INSTALL FIRE HYDRANT ASSEMBLY
- (M) EXISTING FIRE HYDRANT ASSEMBLY
- (N) PROPOSED 6" SANITARY SEWER SERVICE (SDR 23.5, F-3 BEDDING). CONNECT TO EXISTING STUB. CONTRACTOR TO LOCATE AND VERIFY LOCATION. SEE MECHANICAL PLAN SHEET P-101 FOR CONTINUATION.
- (O) CONNECT STORM SEWER TO EXISTING STORM STUB. CONTRACTOR TO LOCATE AND VERIFY LOCATION.
- (P) PROPOSED ELECTRIC TRANSFORMER. SEE ELECTRICAL PLAN SHEET ES001 FOR CONTINUATION.
- (Q) PROPOSED "BEGIN ONE WAY" SIGN.
- (R) PROPOSED "DO NOT ENTER" SIGN.
- (S) 368 LF GAS SERVICE SEE MECHANICAL PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY ON FINAL SERVICE LOCATION AND CONNECTION.

STORM SEWER STRUCTURES				
STRUCTURE ID	TYPE	RIM / FG	INFLOW PIPE IE	OUTFLOW PIPE IE
101.0	SW-511	657.43	8" IE: 653.60 E	
102.0	PROPOSED POND OUTFALL STRUCTURE	658.00		8" IE: 654.00 W
201.0	FES	656.89	15" IE: 656.00 N	
202.0	SW-501	660.48	15" IE: 656.24 NW	15" IE: 656.14 S
203.0	SW-501	660.71	15" IE: 656.78 N	15" IE: 656.68 SE
204.0	SW-511	661.37		15" IE: 658.55 S
301.0	FES	0.89	15" IE: 656.00 N	
302.0	SW-501	660.63	15" IE: 656.61 N	15" IE: 656.51 S
303.0	SW-511	661.43	15" IE: 657.57 N	15" IE: 657.47 S
304.0	SW-511	661.27		15" IE: 658.45 S

STORM SEWER PIPE TABLE								
PIPE ID	STRUCTURE US	STRUCTURE DS	INVERT US	INVERT DS	LENGTH (FEET)	SLOPE	SIZE (IN)	NOTES
102.0	102.0	101.0	654.00	653.60	130	0.31%	8	HDPE Pipe
202.0	202.0	201.0	656.14	656.00	20	0.72%	15	Concrete Pipe
203.0	203.0	202.0	656.68	656.24	59	0.75%	15	Concrete Pipe
204.0	204.0	203.0	658.55	656.78	237	0.75%	15	Concrete Pipe
302.0	302.0	301.0	656.51	656.00	42	1.24%	15	Concrete Pipe
303.0	303.0	302.0	657.47	656.61	115	0.75%	15	Concrete Pipe
304.0	304.0	303.0	658.45	657.57	117	0.75%	15	Concrete Pipe

NOT FOR CONSTRUCTION

PROJECT NAME:
OVERALL SITE &
UTILITY PLAN

SHEET NUMBER
C-200

PROJECT NAME:
SWITCH COMMERCIAL
2570 MIDDLE ROAD
BETTENDORF, IOWA, 52722

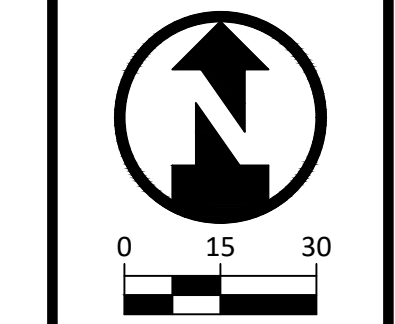
CLIENT NAME:
SWITCH DEVELOPMENT

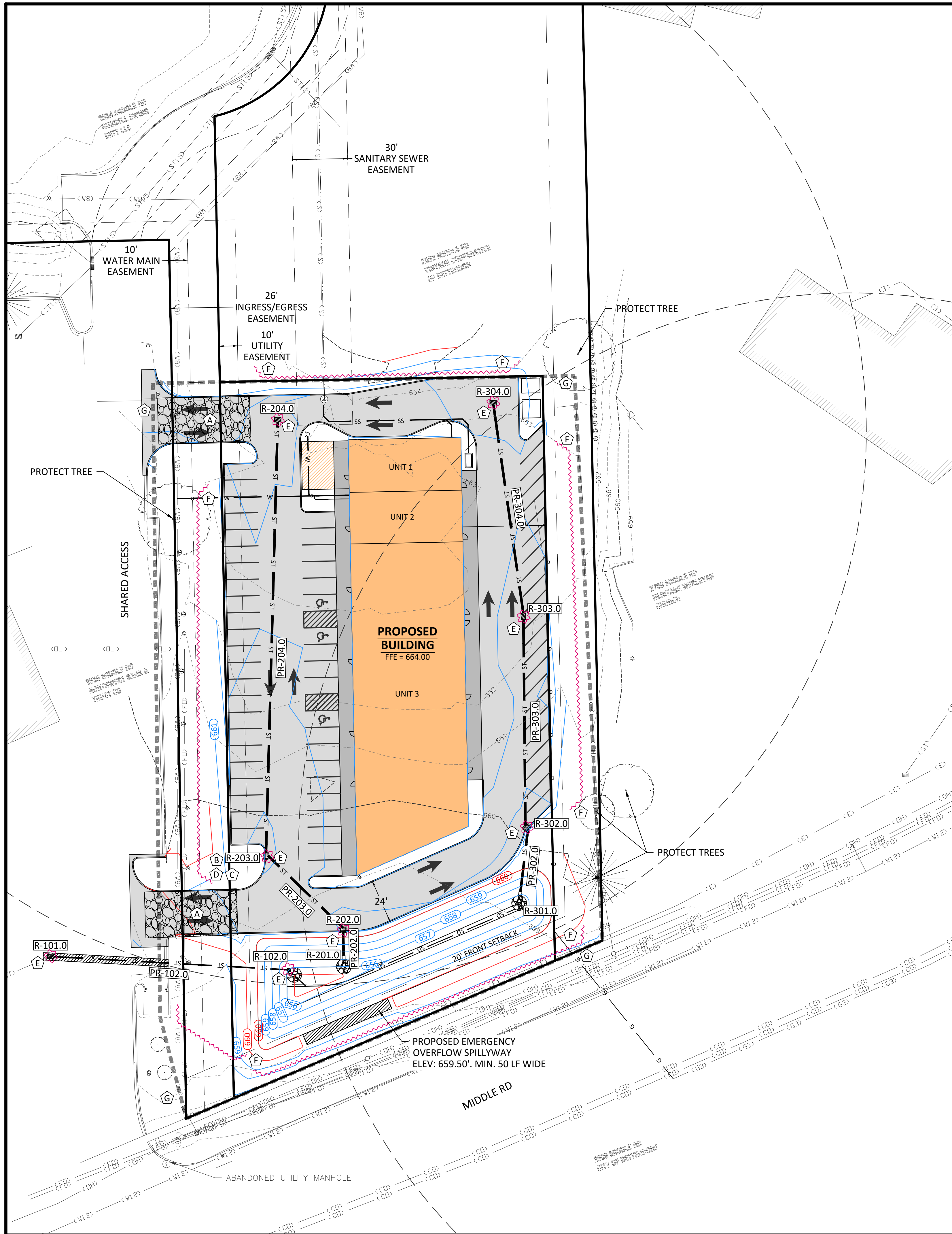
DESIGN PROFESSIONAL:
BOELK

PROJECT NO.:
22-0014

DRAWING LOG

REV	DESCRIPTION OF CHANGES	DATE
A	CITY RESUBMITTAL	02/27/2023





GENERAL NOTES

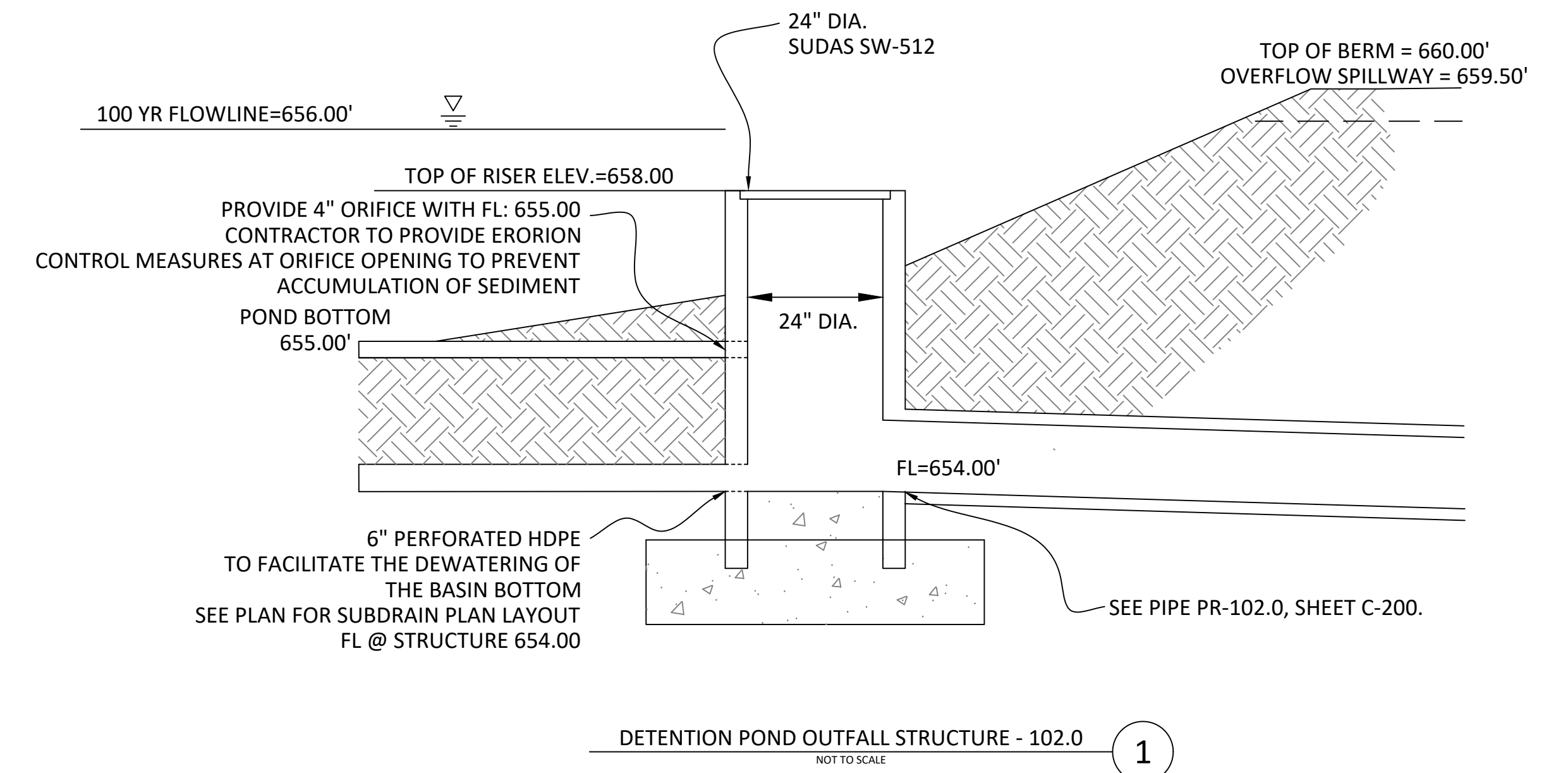
1. CONTRACTOR TO PROVIDE STOCKPILE TEMPORARY EXCAVATION SPOILS ON SITE AND PROVIDE PERIMETER MEASURES ON DOWN-SLOPE SIDE OF PILE TO CONTAIN RUNOFF AND PREVENT SEDIMENT TRANSPORTATION.
2. FINAL RESTORATION OF ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND MULCHED WITH TYPE 1 LAWN MIXTURE UNLESS SHOWN OTHERWISE.
3. CONTRACTOR TO PROVIDE APPROPRIATE TRAFFIC CONTROL WHEN NECESSARY. TRAFFIC CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

LEGEND:

~~~~~ SILT FENCE OR FILTER SOCK

**SWPPP PLAN KEYNOTES**

- A INSTALL STABILIZED CONSTRUCTION ENTRANCE. 50'X25'
- B PROVIDE SANITATION FACILITY (PORTABLE RESTROOM.)
- C PROVIDE CONCRETE WASHOUT.
- D PROVIDE ENCLOSURE FOR STORAGE OF DOCUMENTS (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- E PROVIDE INLET PROTECTION PRIOR TO GRADING ACTIVITIES. MAINTAIN THROUGHOUT CONSTRUCTION. REMOVE UPON FINAL STABILIZATION.
- F INSTALL PERIMETER MEASURES PRIOR TO STARTING CONSTRUCTION.
- G CONSTRUCTION LIMITS. ■■■■■■



NOT FOR CONSTRUCTION

PROJECT NAME:  
OVERALL GRADING &  
EROSION CONTROL  
PLAN

PROJECT NAME:  
SWITCH COMMERCIAL  
2570 MIDDLE ROAD  
BETTENDORF, IOWA, 52722

CLIENT NAME:  
SWITCH DEVELOPMENT

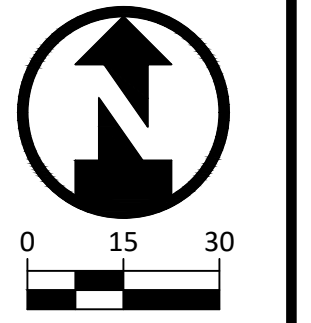
DESIGN PROFESSIONAL:  
BOELK

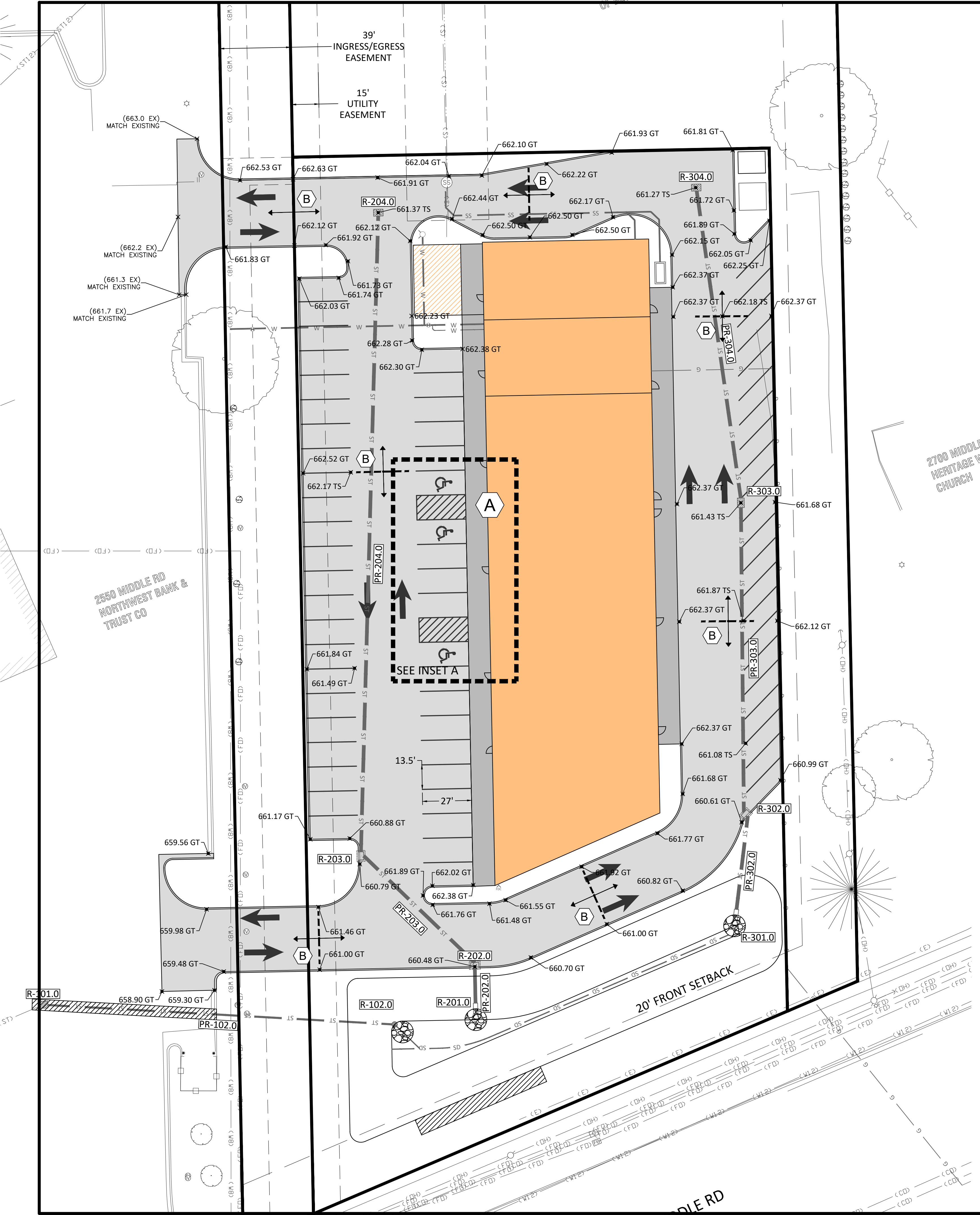
PROJECT NO.:  
22-0014

SHEET NUMBER  
C-300

**DRAWING LOG**

| REV | DESCRIPTION OF CHANGES | DATE       |
|-----|------------------------|------------|
| A   | CITY RESUBMITTAL       | 02/27/2023 |

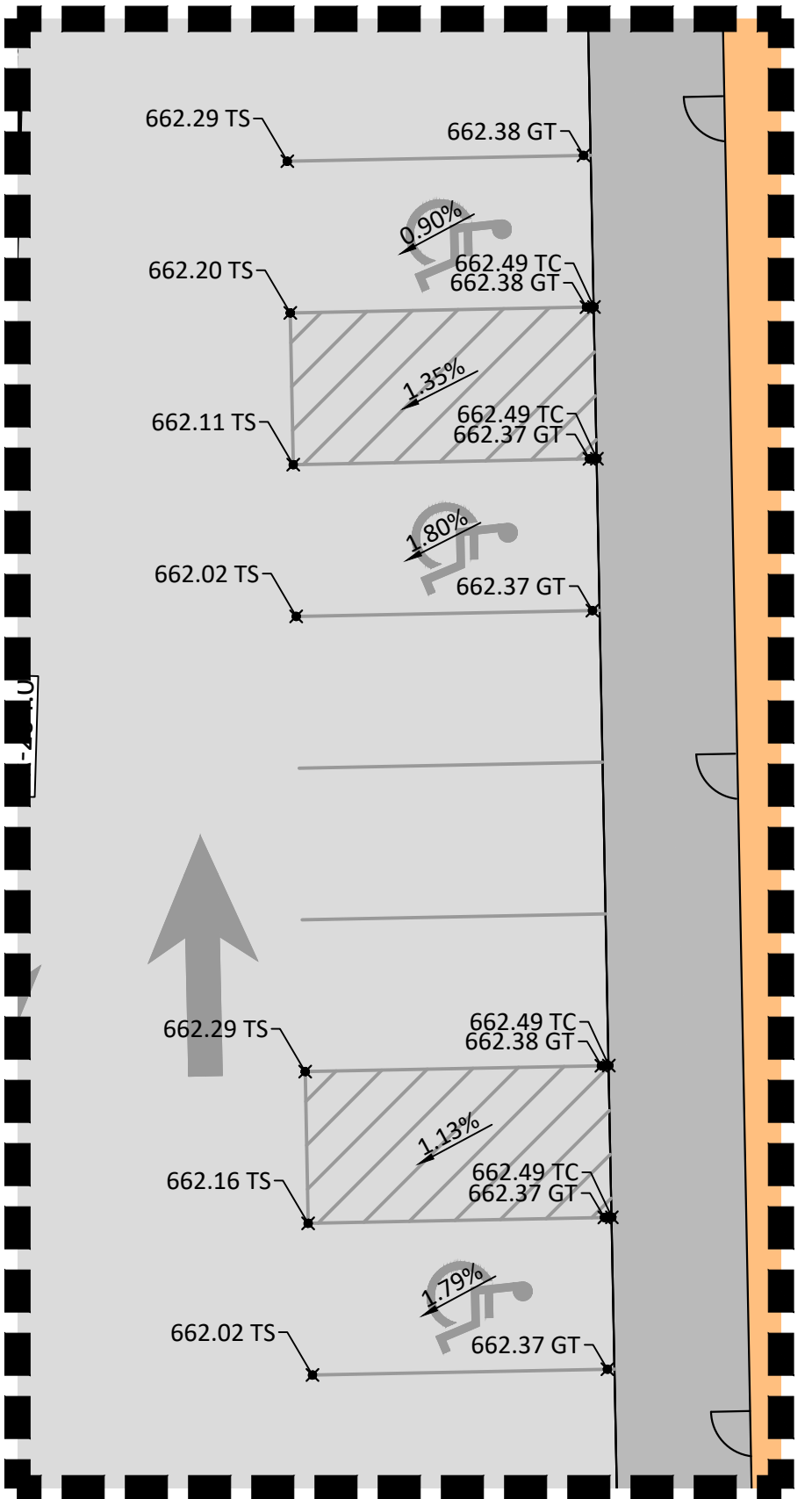




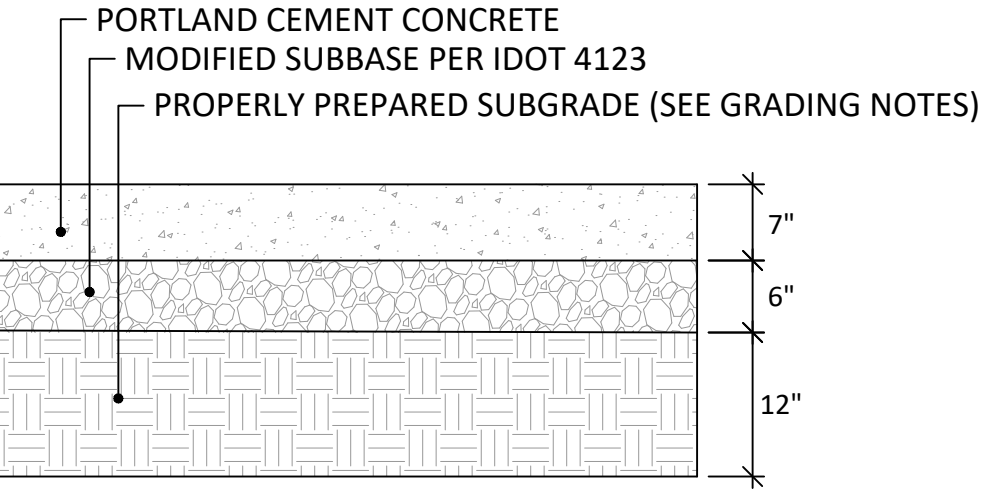
**LEGEND**

|  |                         |
|--|-------------------------|
|  | SIDEWALK PCC PAVEMENT   |
|  | HEAVY DUTY PCC PAVEMENT |

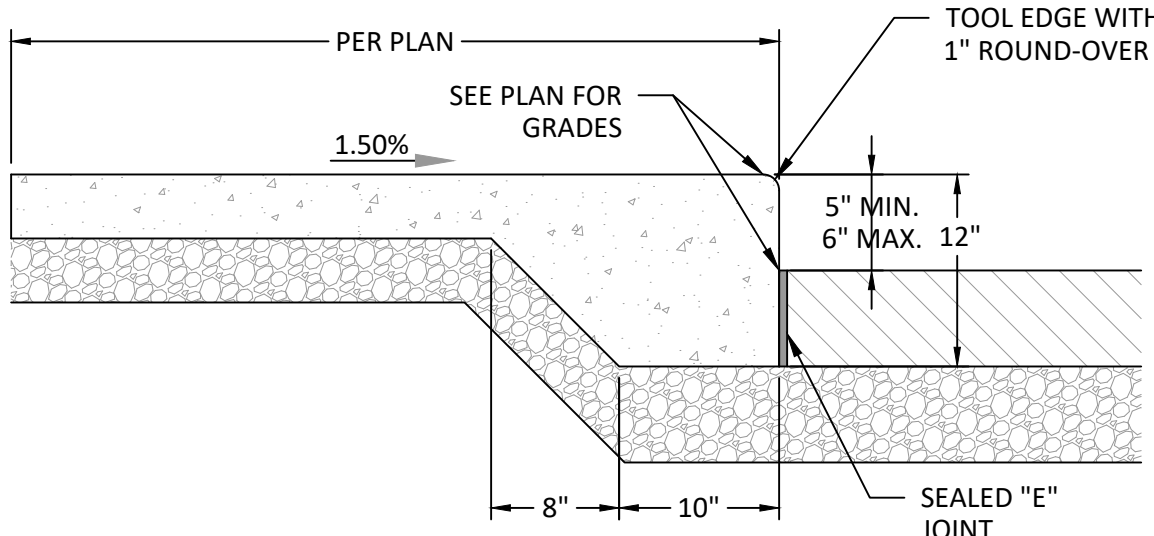
- PAVING PLAN KEYNOTES**
- (A) SIDEWALK AT ADA STALLS TO SLOPE DOWN TO GUTTER ELEVATION AT 12:1 SLOPE (MAX)
  - (B) PROPOSED GRADE BRAKE, HIGH POINT IN PAVEMENT.



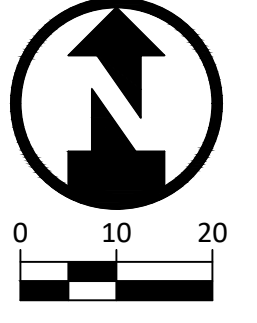
- GENERAL NOTES**
- JOINTING PLAN TO BE SUBMITTED BY PAVING CONTRACTOR FOR ENGINEER REVIEW PRIOR TO PLACEMENT.
  - SEE SUDAS SECTION 7010 FOR ADDITIONAL CONCRETE PAVING REQUIREMENTS.
  - ASSUME STANDARD 6" CURB UNLESS NOTED OTHERWISE.



**HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE



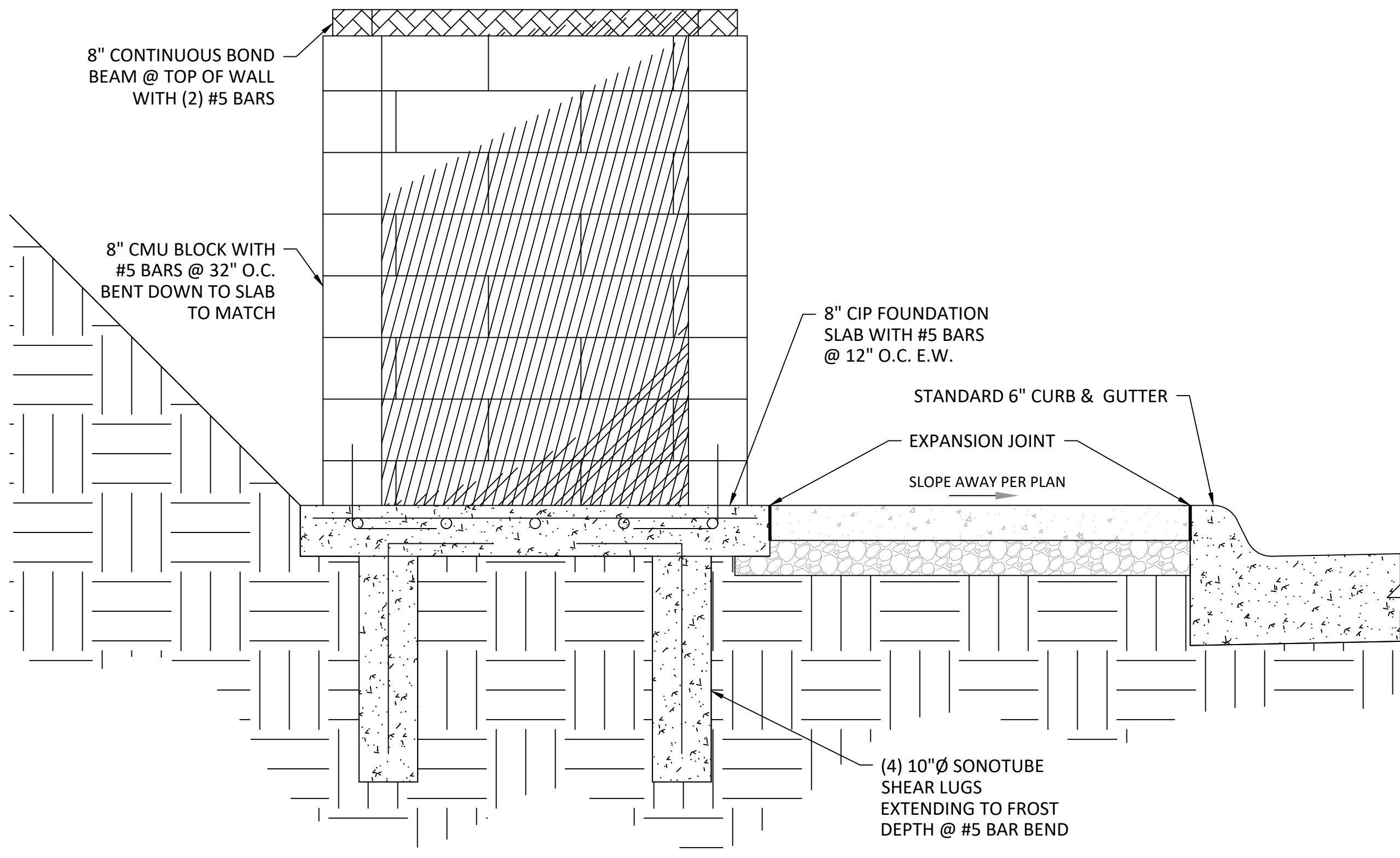
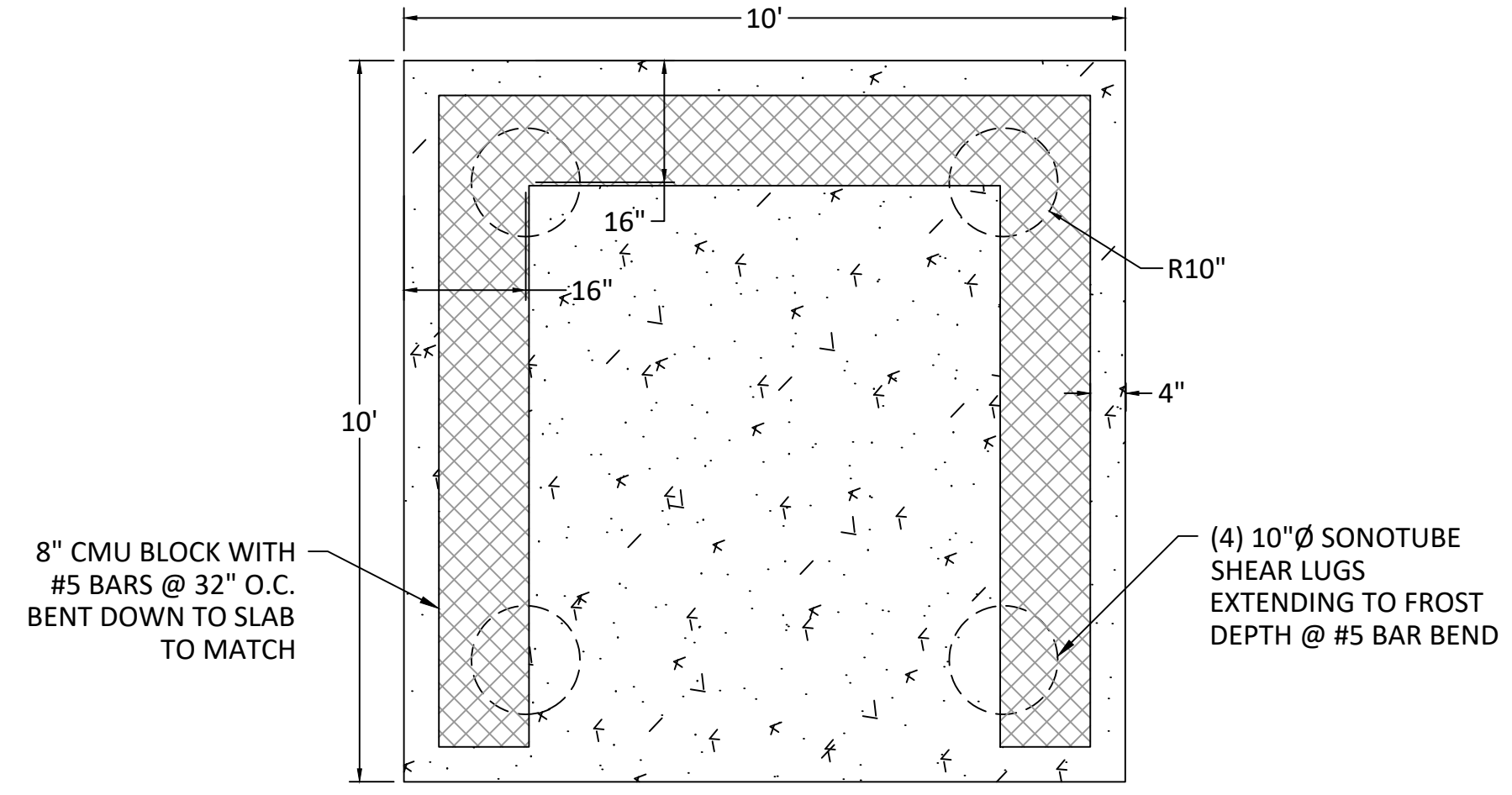
**SIDEWALK WITH INTEGRAL CURB**  
NOT TO SCALE



| DRAWING LOG                           |                        |
|---------------------------------------|------------------------|
| DATE                                  | DESCRIPTION OF CHANGES |
| 02/27/2023 <td>CITY RESUBMITTAL </td> | CITY RESUBMITTAL       |
| REV A                                 |                        |

PROJECT NAME: SWITCH COMMERCIAL  
2570 MIDDLE ROAD  
BETTENDORF, IOWA, 52722  
CLIENT NAME: SWITCH DEVELOPMENT

PROJECT NO.: 22-0014  
DESIGN PROFESSIONAL: BOELK



**DUMPSTER ENCLOSURE**  
NOT TO SCALE

1

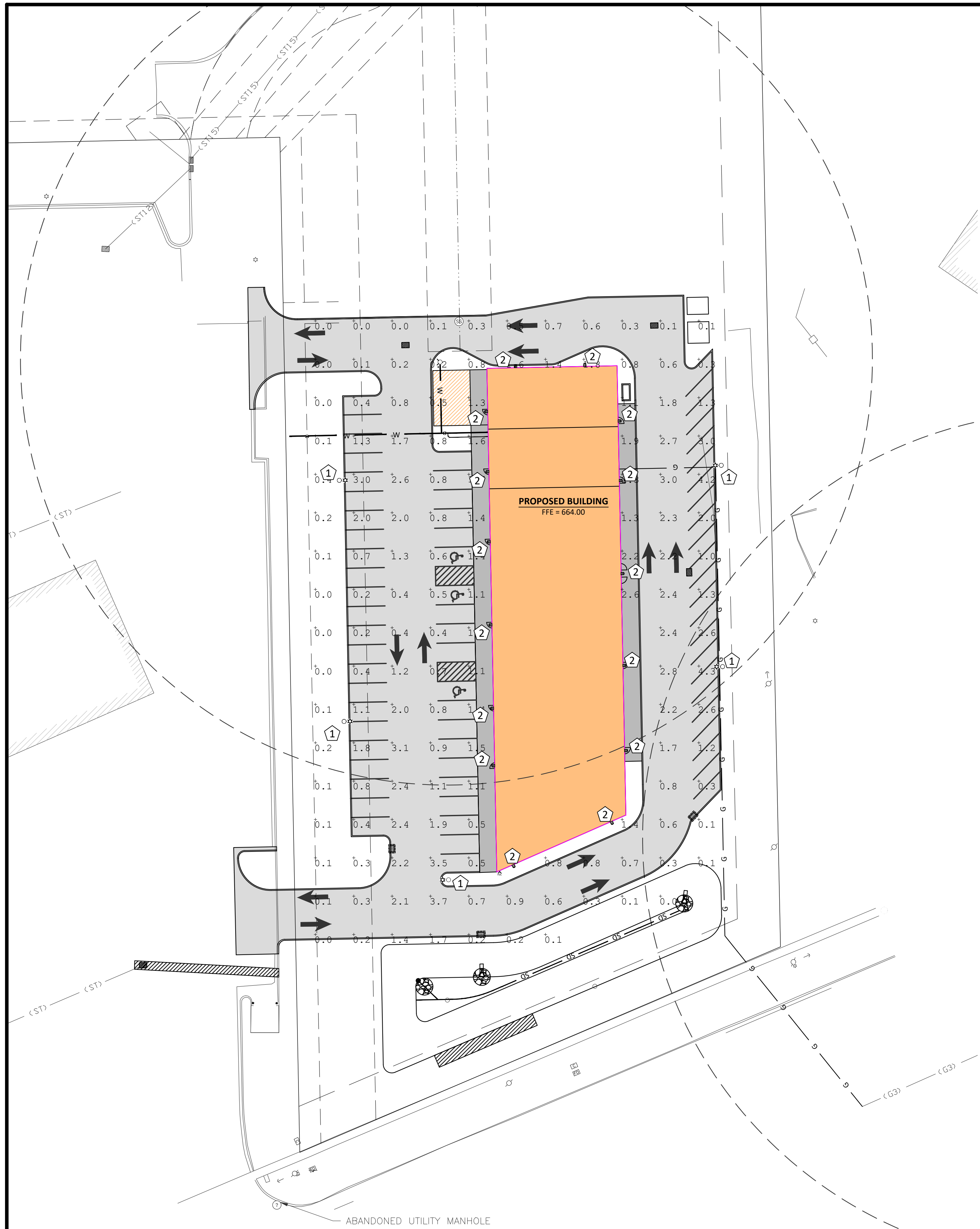
**DRAWING LOG**

| REV | DESCRIPTION OF CHANGES  | DATE       |
|-----|-------------------------|------------|
| A   | INTERNAL REVIEW: 70% CD | 07/19/2022 |

|                      |                                             |
|----------------------|---------------------------------------------|
| PROJECT NAME:        | SWITCH COMMERCIAL                           |
| SHEET NAME:          | CONSTRUCTION DETAILS                        |
| PROJECT NO.:         | 22-0014                                     |
| SHEET NUMBER:        | C-900                                       |
| DESIGN PROFESSIONAL: | BOELK                                       |
| CLIENT NAME:         | SWITCH DEVELOPMENT                          |
| PROJECT ADDRESS:     | 2570 MIDDLE ROAD<br>BETTENDORF, IOWA, 52722 |

NOT FOR CONSTRUCTION





**GENERAL NOTES:**

1. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC 2017 AND ALL APPLICABLE LOCAL CODES.
2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
3. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING MATERIAL.
4. CONTROLS ARE NOT PROVIDED AS PART OF THIS WORK. COORDINATE EXTERIOR LIGHTING CONTROLS WITH ENGINEER/CONTRACTOR FOR BUILDING.
5. INSTALL CONDUIT AND CONDUCTORS TO EACH FIXTURE, TYPE AND SIZE DEPENDS ON AVAILABLE VOLTAGE. CONFIRM AVAILABLE VOLTAGE WITH ENGINEER/CONTRACTOR FOR BUILDING.

**LIGHTING PLAN KEYNOTES:**

- ① F1: PROPOSED LIGHT FIXTURE  
MANUFACTURER: LITHONIA LIGHTING  
MODEL #: RSX1 LED P2 40K R4 HS  
POLE: SSS 15' 4G DM19 VD XXXX (COLOR)  
MOUNTING: 20'  
WATTAGE: 73W  
LUMENS: 6554
- ② F3: PROPOSED LIGHT FIXTURE  
MANUFACTURER: LITHONIA LIGHTING  
MODEL #: WDG2 LED P1 40K 70CRI T4M  
MOUNTING: 10'  
WATTAGE: 11W  
LUMENS: 1397

| TAG | QUANTITY     | LUMENS                            | TOTAL LUMENS  |
|-----|--------------|-----------------------------------|---------------|
| 1   | 5            | 6,554                             | 32,770        |
| 2   | 15           | 1,397                             | 20,955        |
|     | <b>TOTAL</b> |                                   | <b>53,725</b> |
|     |              | <b>LUMENS PER NET ACRE (1.11)</b> | <b>48,400</b> |



**Specifications**  
 EPA (E-170): 0.57 W/ (0.05 m²)  
 Length: 21.8" (55.4 cm) (SPA mount)  
 Width: 13.3" (33.8 cm)  
 Height: 3.0" (7.6 cm) Main Body  
 7.2" (18.4 cm) Arm  
 Weight: 22.0 lbs (10.0 kg)  
 EPA mount:

**Ordering Information**  
 Example: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

| Series   | Package | Color Temperature | CR    | Beam Spread | Mounting |
|----------|---------|-------------------|-------|-------------|----------|
| RSX1 LED | P2      | 40K               | 80CRI | 15°         | SPA      |

| System | Finish                  |
|--------|-------------------------|
| ES     | Black Bronze            |
| ESL    | Black                   |
| ESM    | Natural Aluminum        |
| ESW    | White                   |
| ESD    | Sealed Dark Bronze      |
| ESDB   | Sealed Black            |
| ESDBA  | Sealed Natural Aluminum |
| ESWGD  | Sealed White            |

**Shipping Information**

| Item     | Quantity | Weight  | Dimensions      |
|----------|----------|---------|-----------------|
| RSX1 LED | 20       | 440 lbs | 24" x 18" x 18" |

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
 One Lithonia Way • Corry, Georgia 30012 • Phone: 1-800-705-SERV (7278) • www.lithonia.com  
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**Specifications**  
 Depth (D1): 7"  
 Depth (D2): 1.5"  
 Height: 9"  
 Width: 11.5"  
 Weight (without optics): 13.5 lbs

**Ordering Information**  
 Example: WDG2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

| Series   | Package | Color Temperature | CR    | Beam Spread | Mounting |
|----------|---------|-------------------|-------|-------------|----------|
| WDG2 LED | P3      | 40K               | 80CRI | 15°         | SRM      |

**WDG2 LED Family Overview**

| Mounting | Series               | Package | Color Temp | CR    | Beam Spread | Height | Weight   | Power | Lumens |
|----------|----------------------|---------|------------|-------|-------------|--------|----------|-------|--------|
| SRM      | Precision Refractive | P1      | 40K        | 80CRI | 15°         | 9"     | 13.5 lbs | 11W   | 1397   |
|          |                      | P2      | 40K        | 80CRI | 15°         | 9"     | 13.5 lbs | 11W   | 1397   |
|          |                      | P3      | 40K        | 80CRI | 15°         | 9"     | 13.5 lbs | 11W   | 1397   |
|          |                      | P4      | 40K        | 80CRI | 15°         | 9"     | 13.5 lbs | 11W   | 1397   |

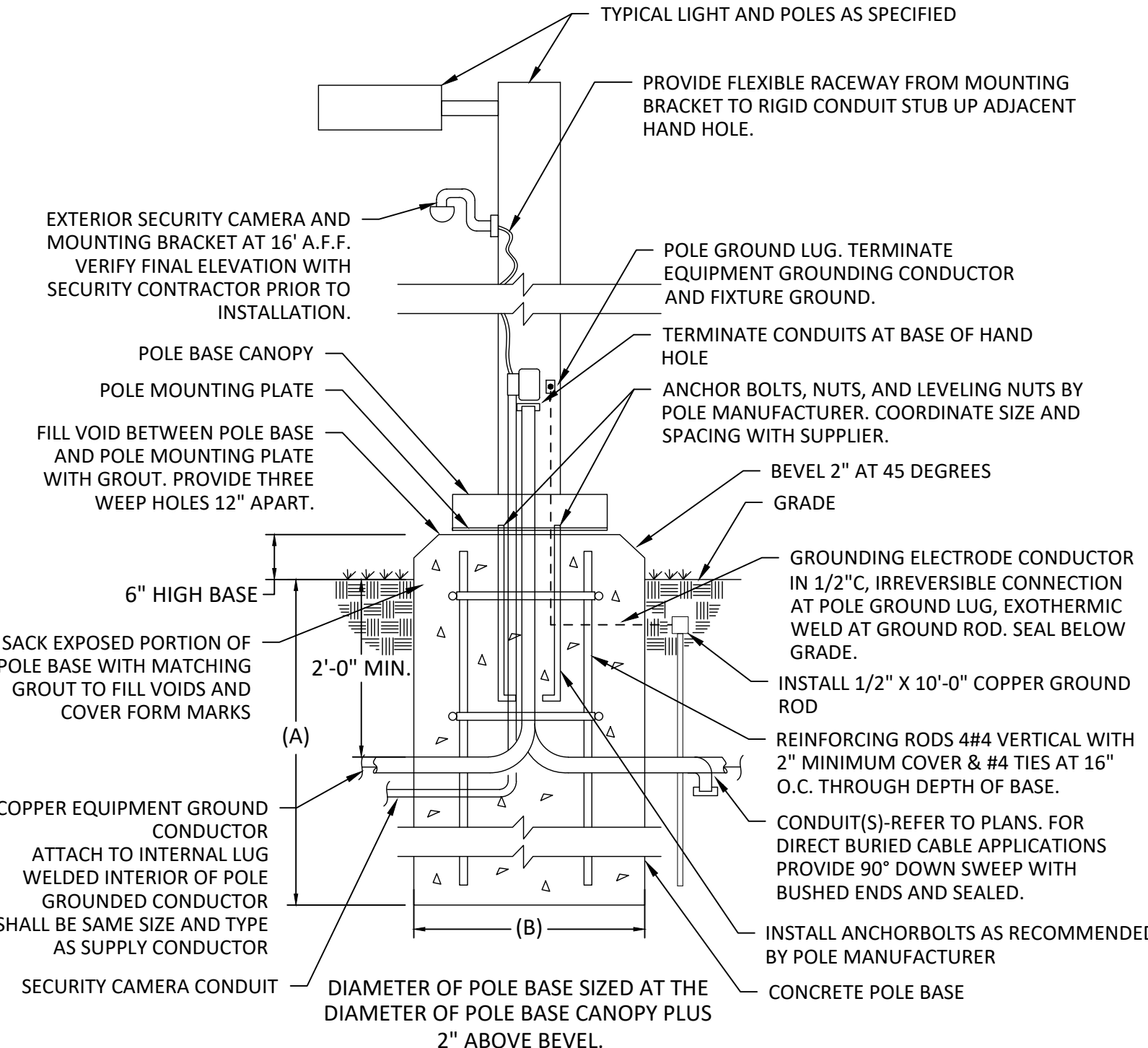
**Ordering Information**

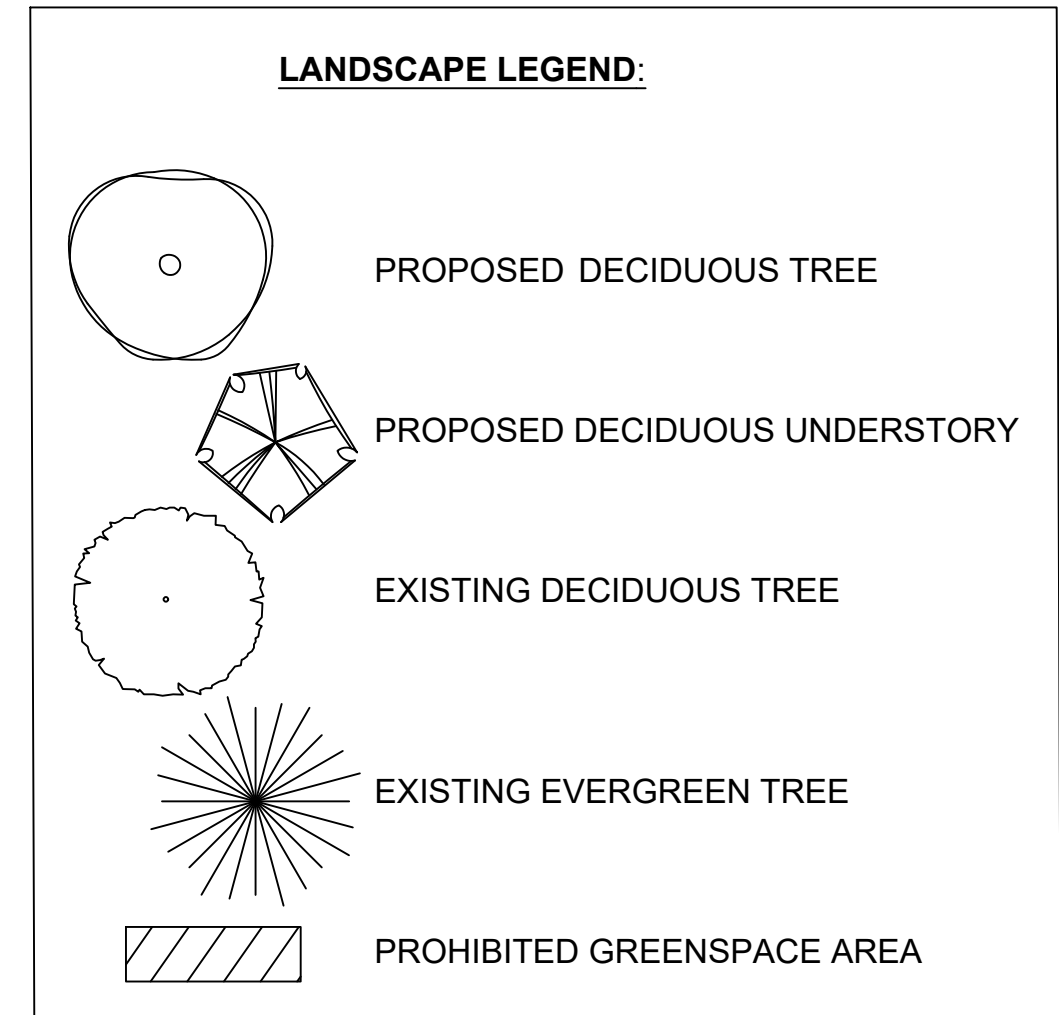
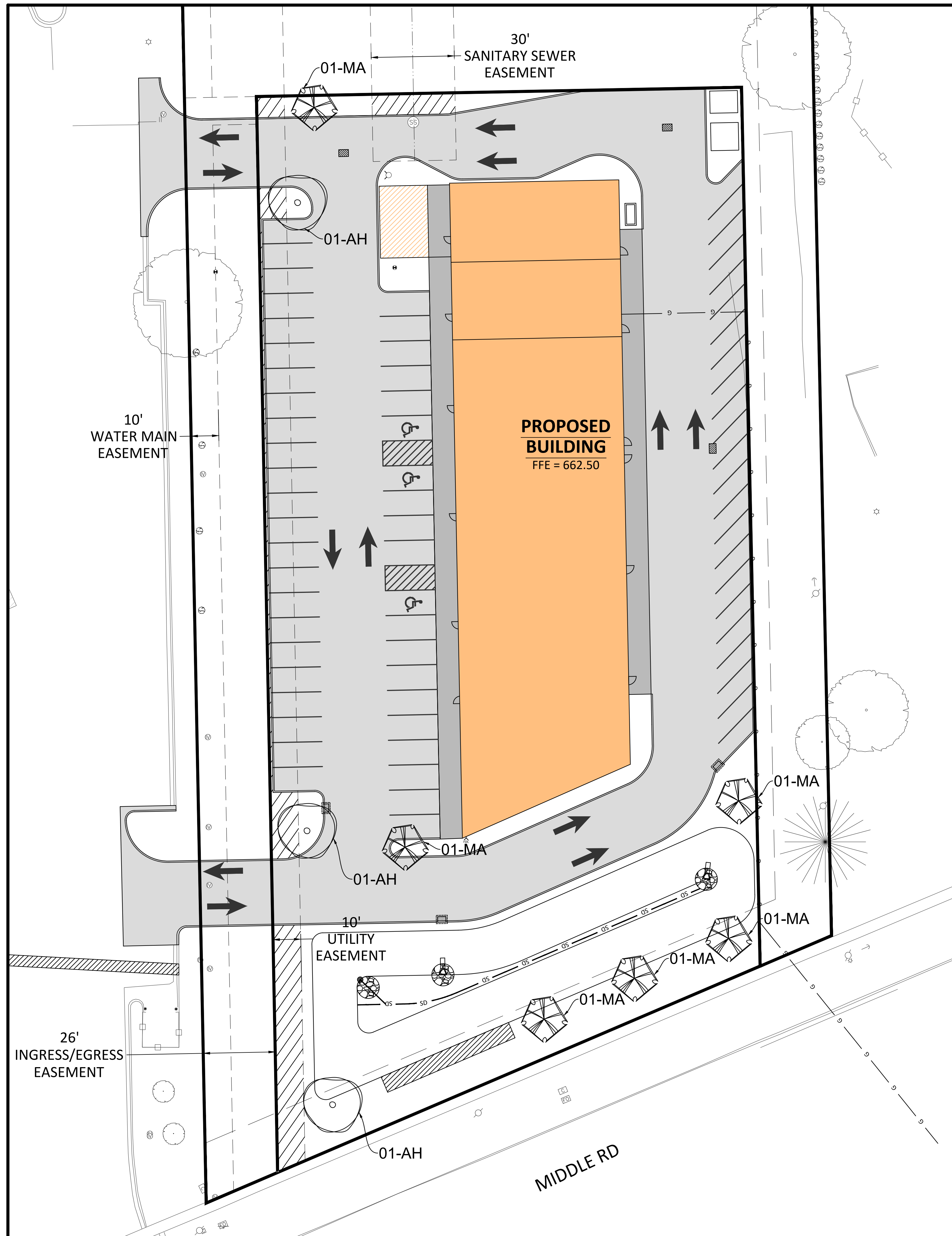
| Series   | Package | Color Temperature | CR    | Beam Spread | Mounting |
|----------|---------|-------------------|-------|-------------|----------|
| WDG2 LED | P3      | 40K               | 80CRI | 15°         | SRM      |

**System**

| System | Finish                  |
|--------|-------------------------|
| ES     | Black Bronze            |
| ESL    | Black                   |
| ESM    | Natural Aluminum        |
| ESW    | White                   |
| ESD    | Sealed Dark Bronze      |
| ESDB   | Sealed Black            |
| ESDBA  | Sealed Natural Aluminum |
| ESWGD  | Sealed White            |

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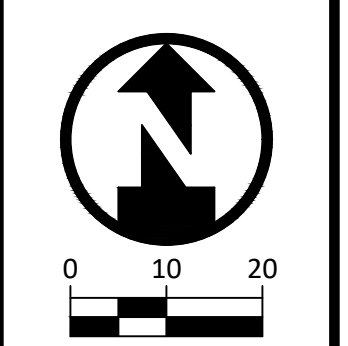
**LANDSCAPE PLANTING NOTES**

EXISTING TREES TO BE PROTECTED DURING CONSTRUCTION USING FENCES FIVE (5) FEET OUTSIDE THE DRIP LINE OF TREES TO BE PRESERVED.

EXISTING TREES COUNTING TOWARD TREE FACTOR CREDIT SHALL BE APPROVED BY COMMUNITY DEVELOPMENT DIRECTOR.

| ID              | QTY. | BOTANICAL/COMMON NAME                    | MAT. SIZE     | ROOT | SPACING  | NOTES                                       |
|-----------------|------|------------------------------------------|---------------|------|----------|---------------------------------------------|
| DECIDUOUS TREES |      |                                          |               |      |          |                                             |
| AH              | 3    | Alnus hisuta 'Harbin'<br>PRAIRIE HORIZON | 40' H X 30' W | BB   | SEE PLAN | MIN. OF 4" TRUNK DIAMETER AT 6" ABOVE GRADE |
| MA              | 6    | Maackia amurensis<br>AMUR MAACKIA        | 25' H X 25' W | BB   | SEE PLAN | MIN. OF 4" TRUNK DIAMETER AT 6" ABOVE GRADE |

ALL PLANTS NURSERY MATCHED, QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS



**DRAWING LOG**

| REV | DESCRIPTION OF CHANGES | DATE       |
|-----|------------------------|------------|
| A   | CITY RESUBMITTAL       | 02/27/2023 |

PROJECT NAME: SWITCH COMMERCIAL  
2570 MIDDLE ROAD  
BETTENDORF, IOWA, 52722

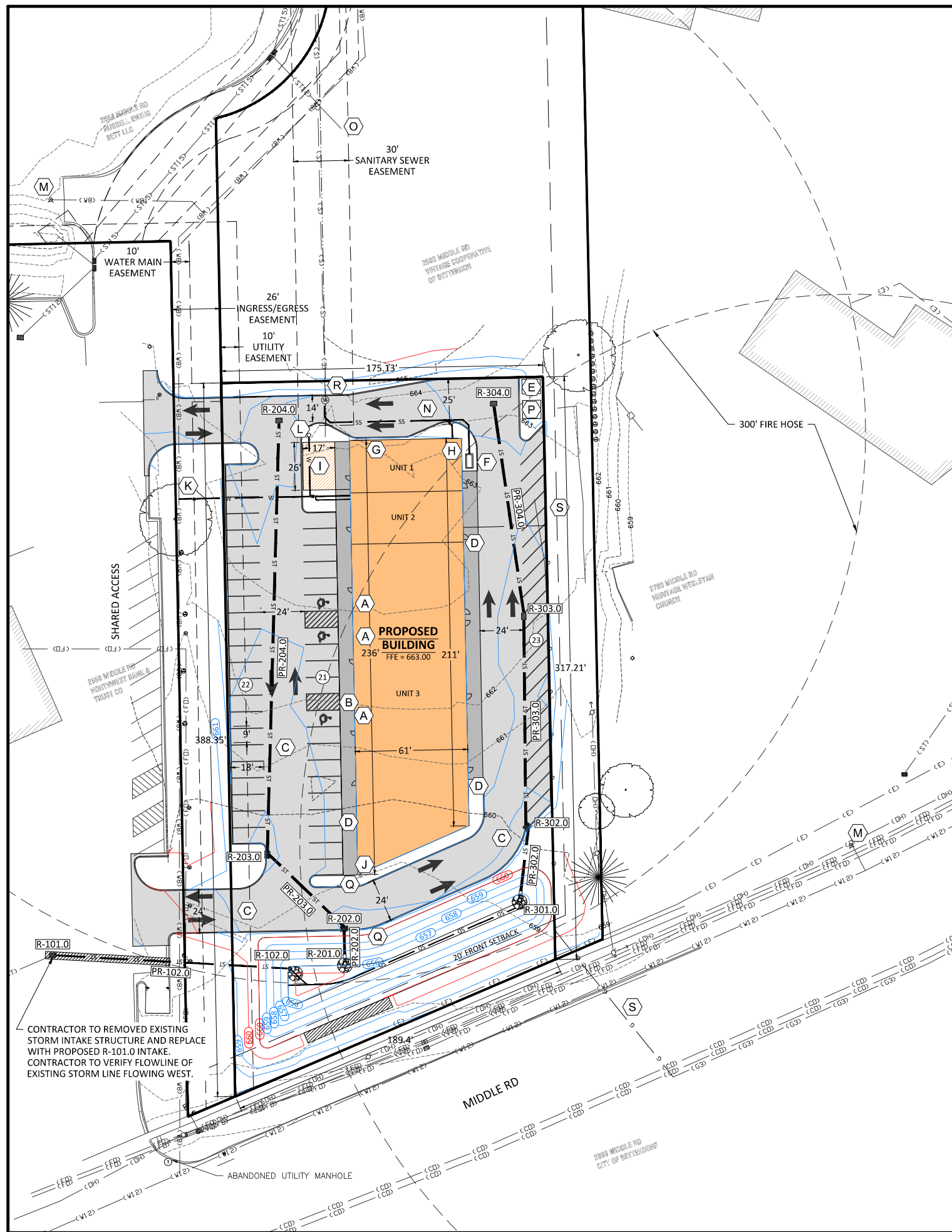
CLIENT NAME: SWITCH DEVELOPMENT

SHEET NAME: LANDSCAPE PLAN

DESIGN PROFESSIONAL: BOELK

PROJECT NO.: 22-0014

NOT FOR CONSTRUCTION



**LOT INFORMATION**

**LOT SIZE**  
61,870 SF (1.42 ACRES)

**CURRENT ZONING**  
C-2 COMMERCIAL COMMERCIAL DISTRICT

**ZONING REQUIREMENTS**  
FRONT SETBACK 20'  
SIDE SETBACK 0'  
SIDE SETBACK, STREET 20'  
REAR SETBACK 0'

**PARKING REQUIREMENTS**

**UNIT 1**  
RESTAURANT 1,000 SF  
PARKING REQUIRED 1 SPACE / 50 SF  
CUSTOMER SERVICE AREA 29 SPACES

**UNIT 2**  
VET CLINIC 1,680 SF  
PARKING REQUIRED 1 SPACE / 500 SF  
4 SPACES

**UNIT 3**  
GENERAL OFFICE 9,439 SF  
PARKING REQUIRED 1 SPACE / 250 SF  
38 SPACES

**TOTAL PARKING REQUIRED 76 SPACES**  
**TOTAL PARKING PROVIDED 66 SPACES**

**GENERAL NOTES**

- CONNECT DOWNSPOUTS TO ADJACENT STORM SEWER WITH 6" HDPE. SEE ARCHITECTURAL PLANS FOR LOCATION.
- PVC WATER SERVICE TO HAVE TRACER WIRE IN ACCORDANCE WITH SUDAS AND BETTENDORF WATER DEPARTMENT REQUIREMENTS.

**SITE & UTILITY PLAN KEYNOTES**

- (A) PROPOSED ADA PARKING SIGN.
- (B) PROPOSED ADA CURB RAMP WITH DETECTABLE WARNING SURFACE. REFER TO SUDAS DETAIL 7030.207.
- (C) PROPOSED PCC HEAVY DUTY PAVEMENT. SEE DETAIL #1, SHEET C-400.
- (D) PROPOSED PCC INTEGRAL SIDEWALK. DEE DETAIL #2, SHEET C-400.
- (E) PROPOSED DUMPSTER ENCLOSURE. SEE DETAIL #1, SHEET C-900.
- (F) PROPOSED GREASE INTERCEPTOR. SEE MECHANICAL PLAN FOR CONTINUATION.
- (G) PROPOSED DRIVE-THRU WINDOW
- (H) PROPOSED ORDER BOARD
- (I) PROPOSED OUTDOOR PATIO SEATING
- (J) PROPOSED FDC LOCATION.
- (K) PROPOSED 104 LF OF 6" PVS SCHEDULE 80 OR CLASS 200 POLYETHYLENE WATER SERVICE TO BUILDING. CONTRACTOR TO PROVIDE CURB STOP 5' FROM FACE OF BUILDING AND SPLIT FOR FIRE AND DOMESTIC. CONNECT TO EXISTING WATER MAIN PER IOWA AMERICAN WATER AND CITY OF BETTENDORF REQUIREMENTS. SEE PLUMBING PLANS FOR CONTINUATION.
- (L) INSTALL FIRE HYDRANT ASSEMBLY
- (M) EXISTING FIRE HYDRANT ASSEMBLY
- (N) PROPOSED 6" SANITARY SEWER SERVICE (SDR 23.5, F-3 BEDDING). CONNECT TO EXISTING STUB. CONTRACTOR TO LOCATE AND VERIFY LOCATION. SEE MECHANICAL PLAN SHEET P-101 FOR CONTINUATION.
- (O) CONNECT STORM SEWER TO EXISTING STORM STUB. CONTRACTOR TO LOCATE AND VERIFY LOCATION.
- (P) PROPOSED ELECTRIC TRANSFORMER. SEE ELECTRICAL PLAN SHEET ES001 FOR CONTINUATION.
- (Q) PROPOSED "BEGIN ONE WAY" SIGN.
- (R) PROPOSED "DO NOT ENTER" SIGN.
- (S) 368 LF GAS SERVICE SEE MECHANICAL PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY ON FINAL SERVICE LOCATION AND CONNECTION.

| STORM SEWER STRUCTURES |                                 |          |                   |                   |
|------------------------|---------------------------------|----------|-------------------|-------------------|
| STRUCTURE ID           | TYPE                            | RIM / FG | INFLOW PIPE IE    | OUTFLOW PIPE IE   |
| 101.0                  | SW-511                          | 657.43   | 8" IE: 653.60 E   |                   |
| 102.0                  | PROPOSED POND OUTFALL STRUCTURE | 658.00   |                   | 8" IE: 654.00 W   |
| 201.0                  | FES                             | 656.89   | 15" IE: 656.00 N  |                   |
| 202.0                  | SW-501                          | 660.48   | 15" IE: 656.24 NW | 15" IE: 656.14 S  |
| 203.0                  | SW-501                          | 660.71   | 15" IE: 656.78 N  | 15" IE: 656.68 SE |
| 204.0                  | SW-511                          | 661.37   |                   | 15" IE: 658.55 S  |
| 301.0                  | FES                             | 0.89     | 15" IE: 656.00 N  |                   |
| 302.0                  | SW-501                          | 660.63   | 15" IE: 656.61 N  | 15" IE: 656.51 S  |
| 303.0                  | SW-511                          | 661.43   | 15" IE: 657.57 N  | 15" IE: 657.47 S  |
| 304.0                  | SW-511                          | 661.27   |                   | 15" IE: 658.45 S  |

| STORM SEWER PIPE TABLE |              |              |           |           |               |       |           |               |
|------------------------|--------------|--------------|-----------|-----------|---------------|-------|-----------|---------------|
| PIPE ID                | STRUCTURE US | STRUCTURE DS | INVERT US | INVERT DS | LENGTH (FEET) | SLOPE | SIZE (IN) | NOTES         |
| 102.0                  | 102.0        | 101.0        | 654.00    | 653.60    | 130           | 0.31% | 8         | HDPE Pipe     |
| 202.0                  | 202.0        | 201.0        | 656.14    | 656.00    | 20            | 0.72% | 15        | Concrete Pipe |
| 203.0                  | 203.0        | 202.0        | 656.68    | 656.24    | 59            | 0.75% | 15        | Concrete Pipe |
| 204.0                  | 204.0        | 203.0        | 658.55    | 656.78    | 237           | 0.75% | 15        | Concrete Pipe |
| 302.0                  | 302.0        | 301.0        | 656.51    | 656.00    | 42            | 1.24% | 15        | Concrete Pipe |
| 303.0                  | 303.0        | 302.0        | 657.47    | 656.61    | 115           | 0.75% | 15        | Concrete Pipe |
| 304.0                  | 304.0        | 303.0        | 658.45    | 657.57    | 117           | 0.75% | 15        | Concrete Pipe |

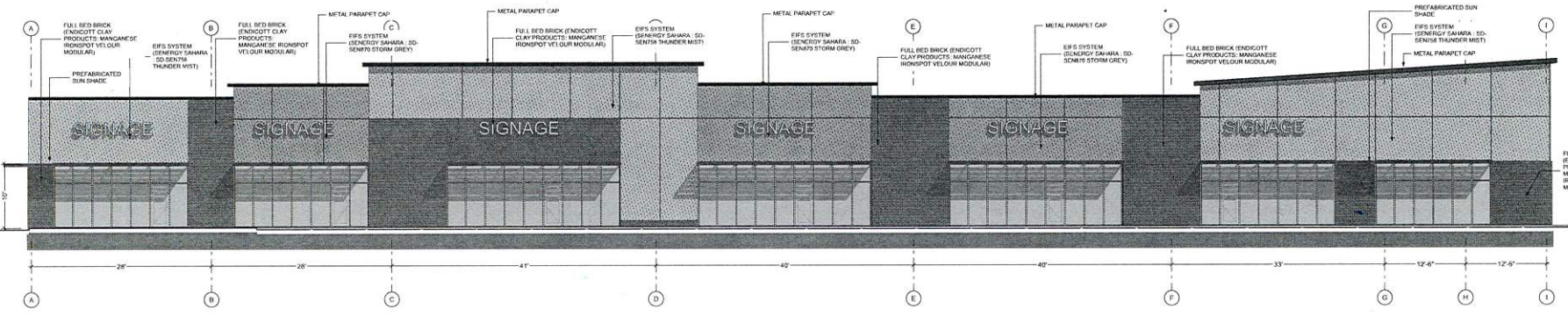
**AXIOM CONSULTANTS**  
ENGINEERS  
60 EAST COURT STREET, IOWA CITY, IA 52240

**NOT FOR CONSTRUCTION**

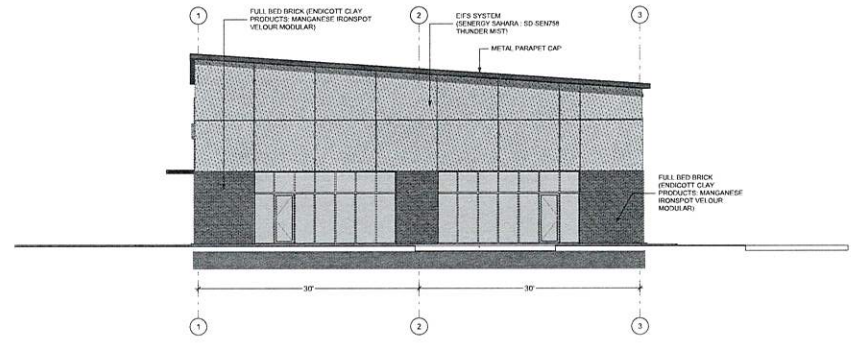
PROJECT NAME: SWITCH COMMERCIAL  
OVERALL SITE & UTILITY PLAN  
2570 MIDDLE ROAD  
BETTENDORF, IOWA, 52722  
CLIENT NAME: SWITCH DEVELOPMENT

DESIGN PROFESSIONAL: BOELK  
PROJECT NO.: 22-0014  
SHEET NUMBER: C-200

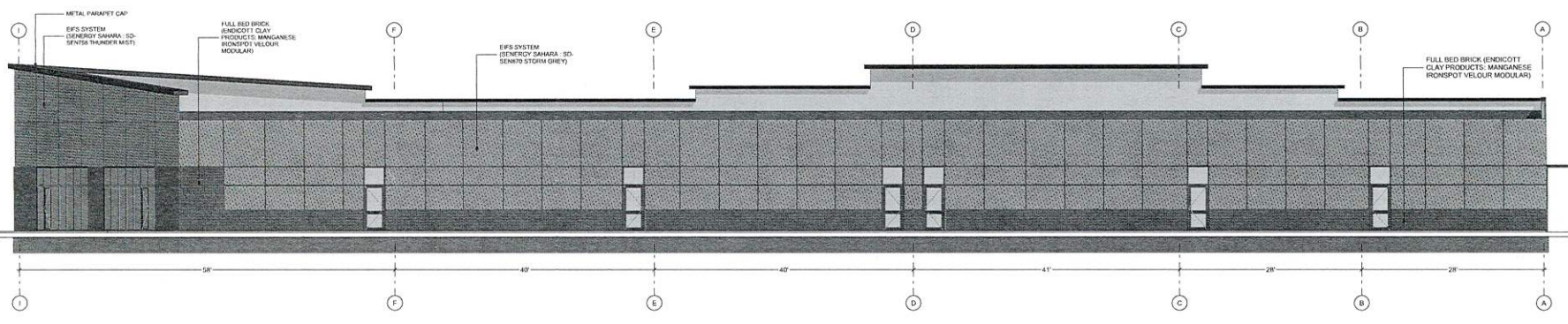
| REV | DESCRIPTION OF CHANGES | DATE       |
|-----|------------------------|------------|
| A   | CITY RESUBMITTAL       | 02/27/2023 |



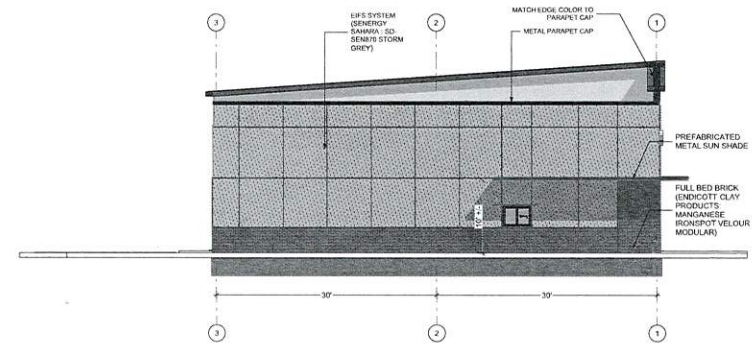
1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 RESTURANT ELEVATION  
SCALE: 1/8" = 1'-0"



1 BACK ELEVATION  
SCALE: 1/8" = 1'-0"



2 FAST FOOD ELEVATION  
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS - 95% SET NOT FOR CONSTRUCTION

PROJECT NAME: CONOLON COMMERCIAL PLAZA

SHEET NAME: ELEVATIONS

SHEET NUMBER: A-201

CLIENT NAME: SWITCH DEVELOPMENT

PROJECT NO: 21-004

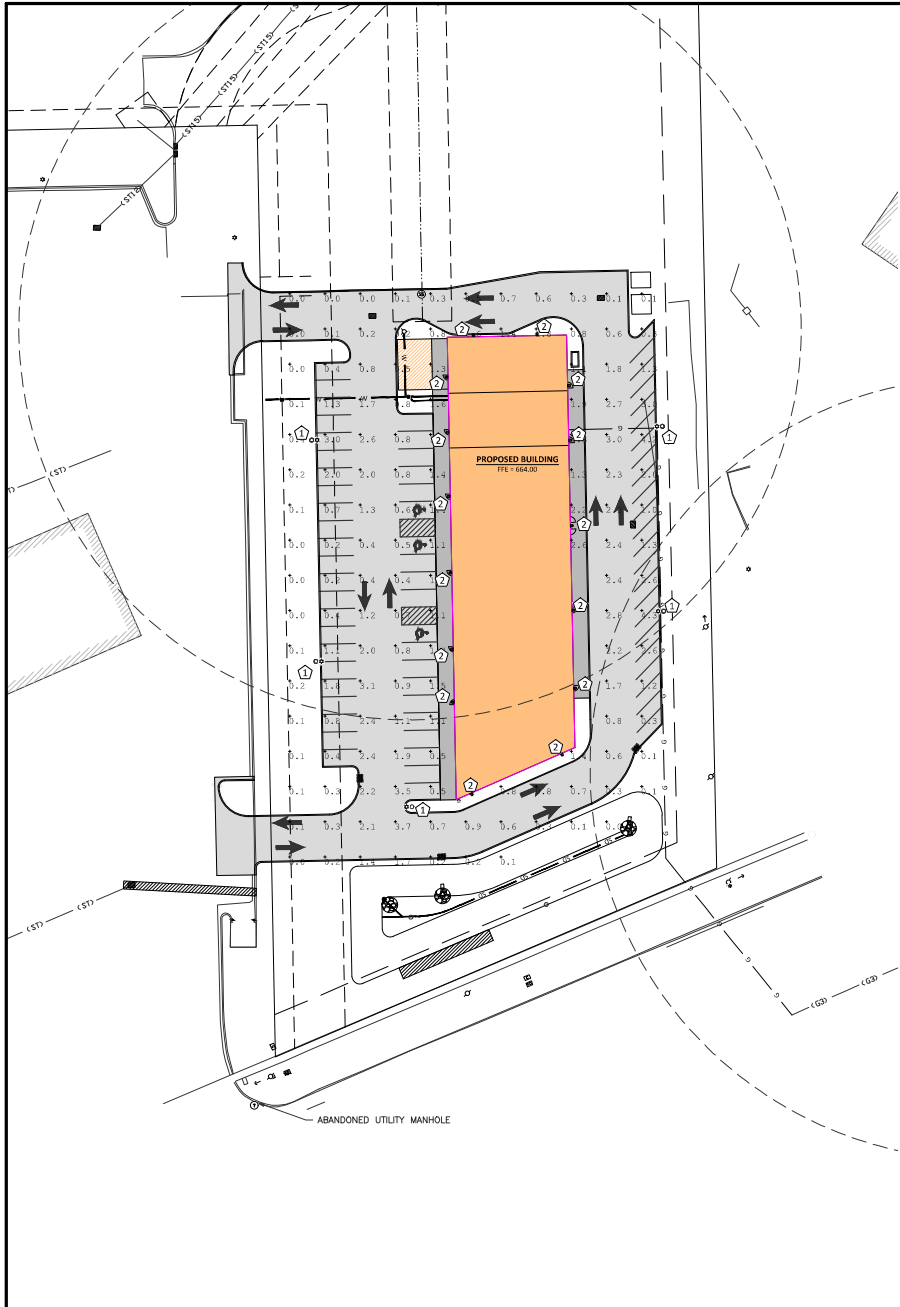
DESIGN PROFESSIONAL: NOLAN

ARCHITECT: horizon original architecture

ENGINEER: AXIOM CONSULTANTS

60 EAST COURT STREET, IOWA CITY, IA 52240

| DATE | DESCRIPTION OF CHANGES |
|------|------------------------|
|      |                        |
|      |                        |
|      |                        |



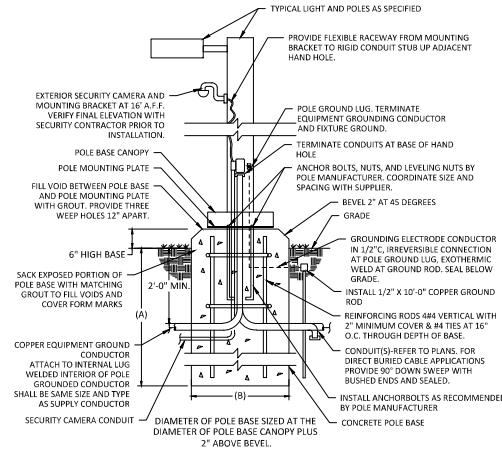
**GENERAL NOTES**

1. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC 2017 AND ALL APPLICABLE LOCAL CODES.
2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
3. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING MATERIAL.
4. CONTROLS ARE NOT PROVIDED AS PART OF THIS WORK. COORDINATE EXTERIOR LIGHTING CONTROLS WITH ENGINEER/CONTRACTOR FOR BUILDING.
5. INSTALL CONDUIT AND CONDUCTORS TO EACH FIXTURE, TYPE AND SIZE DEPENDS ON AVAILABLE VOLTAGE. CONFIRM AVAILABLE VOLTAGE WITH ENGINEER/CONTRACTOR FOR BUILDING.

**LIGHTING PLAN KEYNOTES**

- ① F1: PROPOSED LIGHT FIXTURE  
MANUFACTURER: LITHONIA LIGHTING  
MODEL #: RSX1 LED P2 40K R4 HS  
POLE: 55S 15' 4G DM19 VD XXXX (COLOR)  
MOUNTING: 20'  
WATTAGE: 73W  
LUMENS: 6554
- ② F2: PROPOSED LIGHT FIXTURE  
MANUFACTURER: LITHONIA LIGHTING  
MODEL #: WDG2 LED P1 40K 70CRI TAM  
MOUNTING: 10'  
WATTAGE: 11W  
LUMENS: 1337

| TOTAL OUTDOOR LIGHT OUTPUT |              |                                   |               |
|----------------------------|--------------|-----------------------------------|---------------|
| TAG                        | QUANTITY     | LUMENS                            | TOTAL LUMENS  |
| 1                          | 5            | 6,554                             | 32,770        |
| 2                          | 35           | 1,337                             | 46,795        |
|                            | <b>TOTAL</b> |                                   | <b>83,735</b> |
|                            |              | <b>LUMENS PER NET ACRE (1.11)</b> | <b>48,400</b> |



**Specifications**  
 RFA (RFR): 0.57 W/0.03-w/h  
 Length: 21 1/8" (54.4 mm) (24" max-ho)  
 Height: 13.3" (338.8 mm)  
 Width: 3.0" (76.2 mm) Max. Body  
 Depth (RFR-mount): 5.2" (132.4 mm) Max.  
 Weight: 22.0 lbs (10.0 kg)

**Introduction**  
 The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 2,000+ 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing wall hook patterns. The "You-See-It" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A cast arm-adaptor, adjustable integral airfilter and other mounting configurations are available.

**Ordering Information** EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DBBDD

| Item | Code | Description            | Quantity | Unit Price | Total Price |
|------|------|------------------------|----------|------------|-------------|
| RSX1 | P4   | 40K R3 MVOLT SPA DBBDD | 1        | 100.00     | 100.00      |

**Shipping Information**

| Item | Code | Description            | Quantity | Unit Price | Total Price |
|------|------|------------------------|----------|------------|-------------|
| RSX1 | P4   | 40K R3 MVOLT SPA DBBDD | 1        | 100.00     | 100.00      |

LITHONIA LIGHTING  
 One Northway Blvd • Carson, Georgia 30013 • Phone: 404.399.5229/5238 • www.lithonia.com  
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**Specifications**  
 Depth (D1): 7"  
 Depth (D2): 1.3"  
 Height: 11.3"  
 Width: 11.3"  
 Weight: 13.5 lbs  
 Finish: Matte White

**Introduction**  
 The WDG2 LED family is designed to meet specific, every wall-mounted lighting need in a subtly accented design that blends with any architecture. The sleek, recessed design comes in four sizes with lumen packages ranging from 1,337 to 2,000 lumens.

With the addition of the WDG2 LED family, the WDG2 family provides additional energy savings and code compliance.

WDG2 with industry leading precision refractive optic provides great uniform distribution and optical control. When combined with multiple integrated emergency lighting backup options, including an 80W cold temperature option, the WDG2 becomes the ideal wall-mounted lighting solution for pedestrian-scale applications in any environment.

**Ordering Information** EXAMPLE: WDG2 LED P3 40K BCR6 PV MVOLT SSM DBBDD

| Item | Code | Description                 | Quantity | Unit Price | Total Price |
|------|------|-----------------------------|----------|------------|-------------|
| WDG2 | P3   | 40K BCR6 PV MVOLT SSM DBBDD | 1        | 100.00     | 100.00      |

**Shipping Information**

| Item | Code | Description                 | Quantity | Unit Price | Total Price |
|------|------|-----------------------------|----------|------------|-------------|
| WDG2 | P3   | 40K BCR6 PV MVOLT SSM DBBDD | 1        | 100.00     | 100.00      |

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 One Northway Blvd • Carson, Georgia 30013 • Phone: 404.399.5229/5238 • www.lithonia.com  
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**AXIOM CONSULTANTS**  
 60 EAST COURT STREET, IOWA CITY, IA 52240

**NOT FOR CONSTRUCTION**

**PROJECT NAME:** SWITCH COMMERCIAL  
**2570 MIDDLE ROAD**  
**BETTENDORF, IOWA, 52722**

**CLIENT NAME:** SWITCH DEVELOPMENT

**DESIGN PROFESSIONAL:** BOELK

**SHEET NUMBER:** E1100  
**SHEET NUMBER:** 22-0014

**DRAWING LOG**  
 DATE: 07/20/21  
 DESCRIPTION OF CHANGES:  
 INITIALS: [Signature]  
 REV: 1

## STAFF REPORT

**Subject:** The Landing – Public Pool  
**Author:** Taylor Beswick  
**Department:** Community Development  
**Date:** March 15, 2023

---

**Case No.:** 23-019  
**Request:** Site Development Plan for City Pool, Water Park, and Ice Rink  
**Location:** 2255 Middle Road (Southwest corner of 23<sup>rd</sup> Street and Middle Road)  
**Legal Description:** (Parcel #: 842137001)  
**Applicant:** Brent Morlok, City Engineer on behalf of the City of Bettendorf  
**Current Zoning:** R-2, Single-Family Residence District  
**Future Land Use:** PRKOS, Parks & Open Space

---

### Background Information & Facts

The City of Bettendorf Parks and Recreation Department is proposing to rebuild a community water park, named The Landing, at Middle Park located at Middle Road and 23rd Street ([see Attachment A – Aerial Map](#)). The park property is located in the R-2, Single-Family Residence District ([see Attachment B – Zoning Map](#)). The Landing project will consist of four buildings. This includes an ice-bathhouse, community building, administration building, and a pool equipment building. Other structures will include water park and ice rink features ([see Attachment C – Site Development Plan](#)). Renderings of the proposed buildout have been provided and consist of modern architectural elements. A conceptual layout and floor plans are also included with the submitted renderings ([see Attachment D – Development Renderings](#)).

### Future Land Use and Comprehensive Plan

The development area is shown as Parks and Open Space on the Future Land Use Map ([see Attachment E – Future Land Use Map](#)). The proposal is consistent with the following priorities in the Comprehensive Plan:

- Goal E: Enhance Community Design and Character.
- Goal F: Promote Recreational and Cultural Activity

### Lot Configuration & Zoning Compliance

Parks are a non-residential permitted use in the R-2 District. A 25-foot front yard setback is required in this district, but the applicant requested and was granted a variance by the Board of Adjustment (Case No. 23-002) for a 10-foot front yard setback. The reasoning cited was the constraint of an existing high-pressure gas easement. In addition, most of the structures proposed are not typical building structures; instead, they consist of pools, lounge areas, stairs, a pump house, and water slide. This configuration also preserves as much current park land as possible.

### Utilities

Utilities have been reconfigured to accommodate the new swimming pool, lazy river, splash pad, permanent ice rink, and associated buildings. The utilities have been reviewed by staff and are deemed sufficient for the proposed rebuild.

## **Thoroughfare Plan & Access**

Vehicular access locations will be preserved with the current pool configuration. Access exists via a curb cut on Middle Road and a curb cut on 23<sup>rd</sup> Street. The interior park drive lane will be preserved and will allow access to off-street parking for the proposed development. The park drive will remain unconnected to Park Way Drive at the southeast corner of Middle Park. The site development plan contemplates a road construction project on 23<sup>rd</sup> Street which will add one left-turn lane at the intersection of 23<sup>rd</sup> Street and Middle Road.

## **Pedestrian and Trail Access**

The proposed public pool project will preserve trail access along Middle Road. Interior pedestrian walking paths are shown providing access to the development with the surrounding park.

## **Off-Street Parking**

Existing off-street parking combined with newly-built off-street parking provides a total of 302 parking stalls, including 8 ADA spaces. Per the off-street parking schedule, the requirement is met based on comparable uses. Staff contends sufficient off-street parking is provided.

## **Stormwater Detention**

Proposed construction will add detention basins on the edges of the larger off-street parking lot.

## **Landscaping**

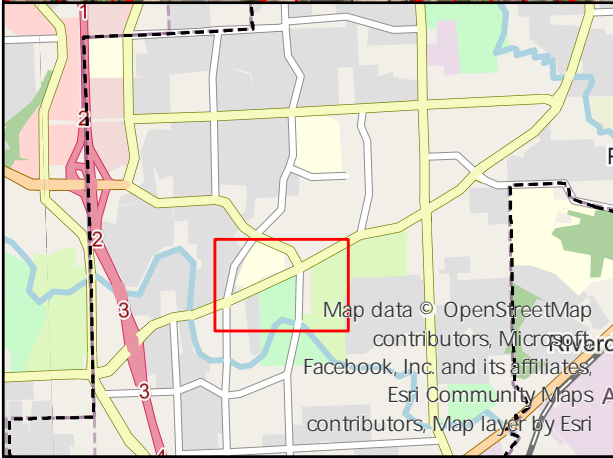
The proposed water park rebuild will provide significantly more landscaping than requirements prescribe (see Attachment F – Landscape Plan). Staff contends this is an improvement on existing conditions at the site, and the landscaping will be a great complement to Middle Park.

## **Staff Recommendation**

Staff contends the proposed development meets site development standards and code requirements. Staff recommends approval of Case No. 23-019, site development plan for The Landing.

Respectfully submitted,

Taylor Beswick  
City Planner

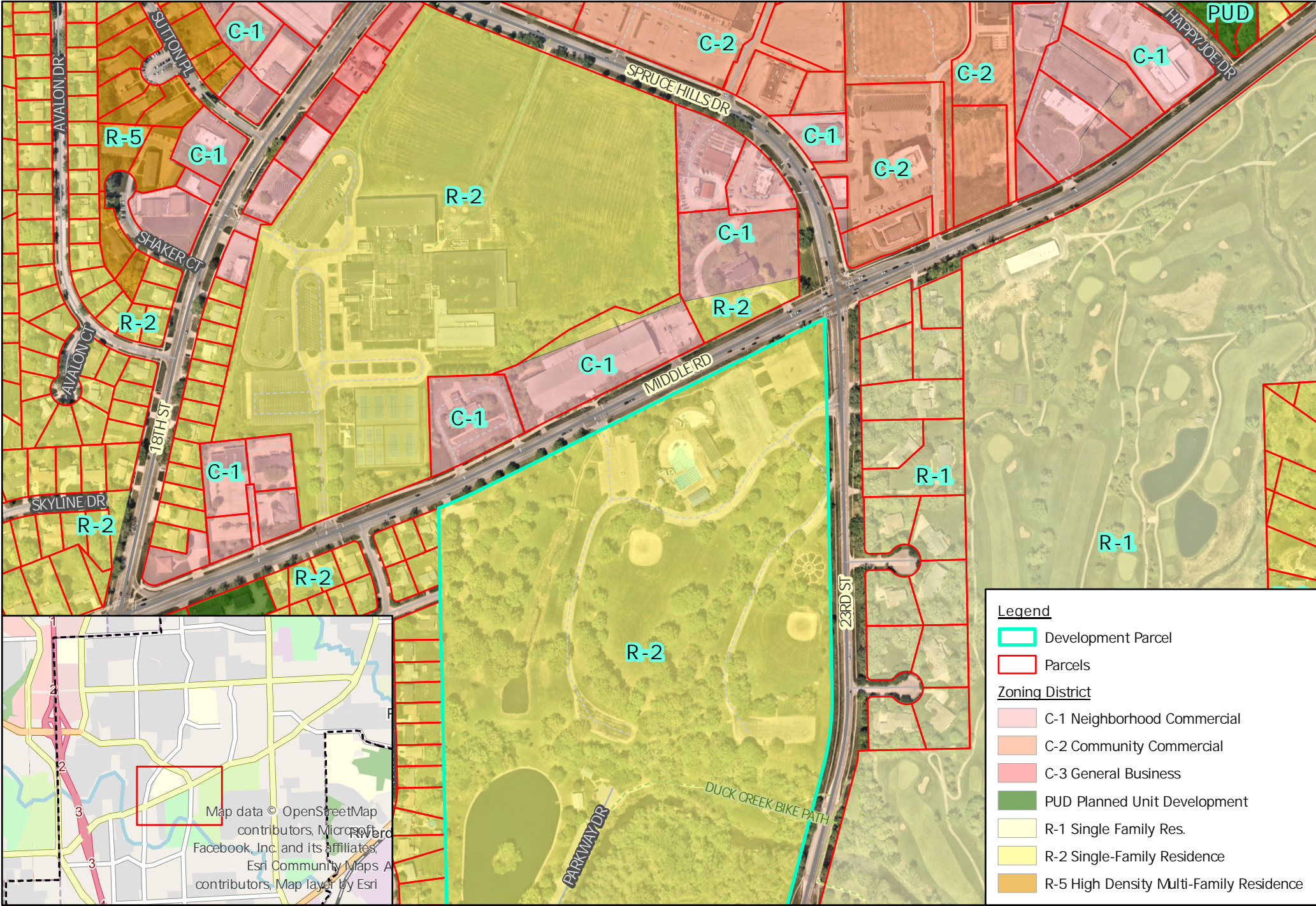


Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps A contributors, Map layer by Esri

**Legend**

- Development Parcel
- Parcels





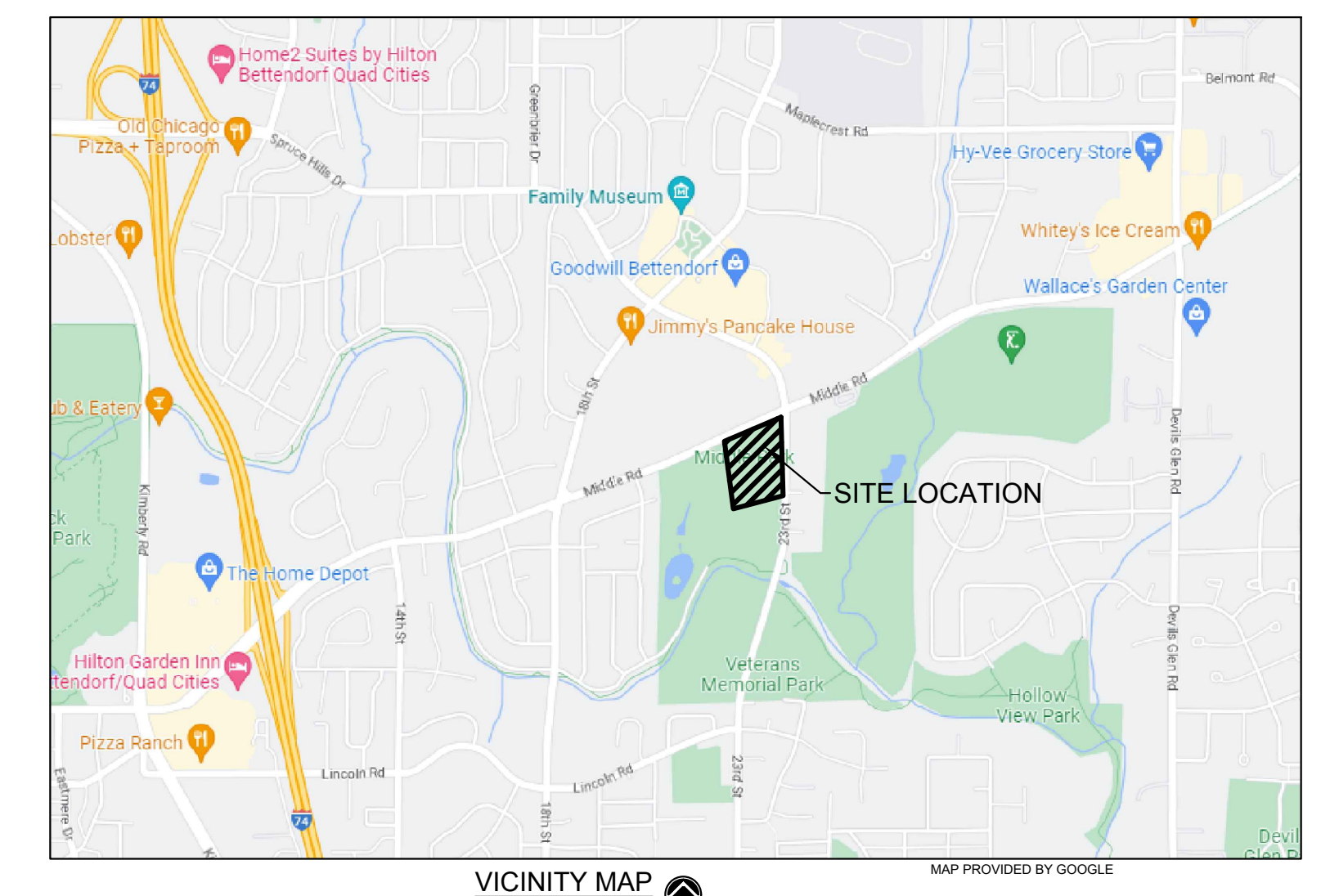
**Legend**

- Development Parcel
- Parcels

**Zoning District**

- C-1 Neighborhood Commercial
- C-2 Community Commercial
- C-3 General Business
- PUD Planned Unit Development
- R-1 Single Family Res.
- R-2 Single-Family Residence
- R-5 High Density Multi-Family Residence

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ARCHITECT  
**RDG PLANNING & DESIGN**  
 (515) 288-3141  
 301 GRAND AVENUE  
 DES MOINES, IOWA

**LEGAL DESCRIPTION**  
 PART OF THE WEST HALF OF THE EAST HALF OF SECTION 21,  
 TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPLE  
 MERIDIAN, IN THE CITY OF BETTENDORF, COUNTY OF SCOTT,  
 STATE OF IOWA; ALSO KNOWN AS SCOTT COUNTY TAX PARCEL ID:  
 842137001

OWNER  
**CITY OF BETTENDORF**  
 BRENT MORLOK  
 (563) 344-4063  
 4403 DEVIL'S GLEN RD.  
 BETTENDORF, IOWA 52722

OWNER  
**YMCA OF THE IOWA MISSISSIPPI VALLEY**  
 BRAD MARTELL  
 (563) 345-4271  
 830 E. FOURTH ST.  
 DAVENPORT, IOWA 52801

| SITE INFORMATION                                                                                                                                             |                  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| ZONING DISTRICT: R-2 SINGLE FAMILY RESIDENCE DISTRICT                                                                                                        |                  |
| SITE LOCATION: AT THE CORNER OF 23RD ST & MIDDLE RD. - 2220 23RD ST, BETTENDORF, IA                                                                          |                  |
| TOTAL LOT AREA                                                                                                                                               | 2,534,647 S.F. ± |
| FRONT YARD REQUIRED                                                                                                                                          | 58.2 ACRES ±     |
| SIDE YARD REQUIRED                                                                                                                                           | 25'              |
| REAR YARD REQUIRED                                                                                                                                           | 10'              |
| TOTAL BUILDING AREA (SEE BUILDING AREA TABLE)                                                                                                                | 25'              |
| REQUIRED PARKING - 300 SPACES                                                                                                                                |                  |
| PROVIDED - 302 (INCLUDING 8 ADA)                                                                                                                             |                  |
| TOTAL VEHICULAR USE AREA (V.U.A.) = 105,086 S.F. ±                                                                                                           |                  |
| CONSTRUCTION ACTIVITY DESCRIPTION:<br>The construction includes 4 proposed buildings, water park & ice rink features, associated parking lots and utilities. |                  |

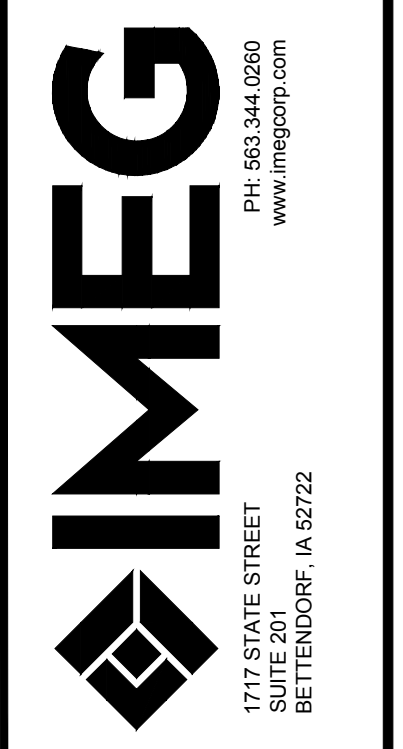
| BUILDING AREA TABLE |                           |
|---------------------|---------------------------|
| BUILDING "A"        | ICE-BATHHOUSE - 4,978 SF  |
| BUILDING "B"        | COMMUNITY - 1,943 SF      |
| BUILDING "C"        | ADMINISTRATION - 1,192 SF |
| BUILDING "D"        | POOL EQUIPMENT - 2,070 SF |

- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF DESIGN AND SPECIFICATIONS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
  - UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS, AND FIELD INVESTIGATION. THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY FRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
  - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
  - THE CONTRACTOR SHALL EXERCISE PROPER CAUTION TO PROTECT THE EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
  - ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH DISTURBING OPERATIONS. THE REMAINING EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS REASONABLY POSSIBLE AFTER GRADING OPERATIONS BEGIN. WHERE THE PRESENCE OF SILT FENCE WILL INTERFERE WITH ACTIVITIES, DIVERSION DITCHES AND SMALL TEMPORARY SEDIMENT TRAPS SHALL BE UTILIZED UNTIL SILT FENCE OR OTHER MEASURES MAY BE INSTALLED AND VEGETATION ESTABLISHED.
  - BUILDING CONSTRUCTION TYPE IS ANTICIPATED TO BE TYPE "V-B" PER THE 2009 INTERNATIONAL BUILDING CODE.
  - SEE ARCHITECTURAL PLANS FOR BUILDING OCCUPANCY TYPE PER THE 2009 INTERNATIONAL BUILDING CODE.
  - THE BUILDINGS WILL NOT BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS.

**LEGEND**

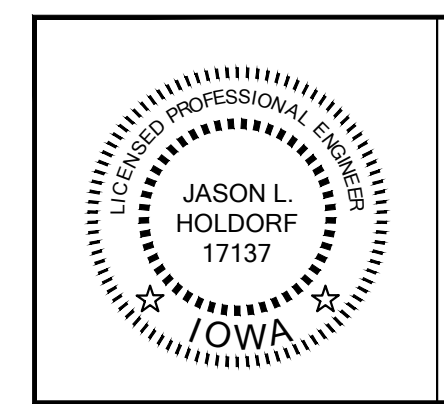
|  |                             |
|--|-----------------------------|
|  | STORM INLET                 |
|  | FLARED END SECTION          |
|  | SANITARY MANHOLE            |
|  | WATER VALVE                 |
|  | HYDRANT                     |
|  | SURVEY BOUNDARY             |
|  | PROPERTY LINE               |
|  | CENTERLINE                  |
|  | HISTORICAL LINE - AS NOTED  |
|  | EASEMENT LINE               |
|  | R.O.W. LINE                 |
|  | SETBACK LINE                |
|  | SANITARY SEWER              |
|  | STORM SEWER                 |
|  | WATER LINE                  |
|  | CONTOUR                     |
|  | PROPOSED CONTOUR            |
|  | PROPOSED SANITARY SEWER     |
|  | PROPOSED STORM SEWER        |
|  | PROPOSED WATER LINE         |
|  | PROPOSED FLARED END SECTION |
|  | PROPOSED STORM MANHOLE      |
|  | PROPOSED WATER VALVE        |
|  | PROPOSED SANITARY MANHOLE   |
|  | PROPOSED SANITARY CLEANOUT  |
|  | PROPOSED HMA PAVEMENT       |
|  | PROPOSED PCC PAVEMENT       |

| NO. | REVISIONS | DESCRIPTION | DATE |
|-----|-----------|-------------|------|
|     |           |             |      |



MIDDLE PARK - THE LANDING  
 BETTENDORF, IA  
 CITY SITE PLAN

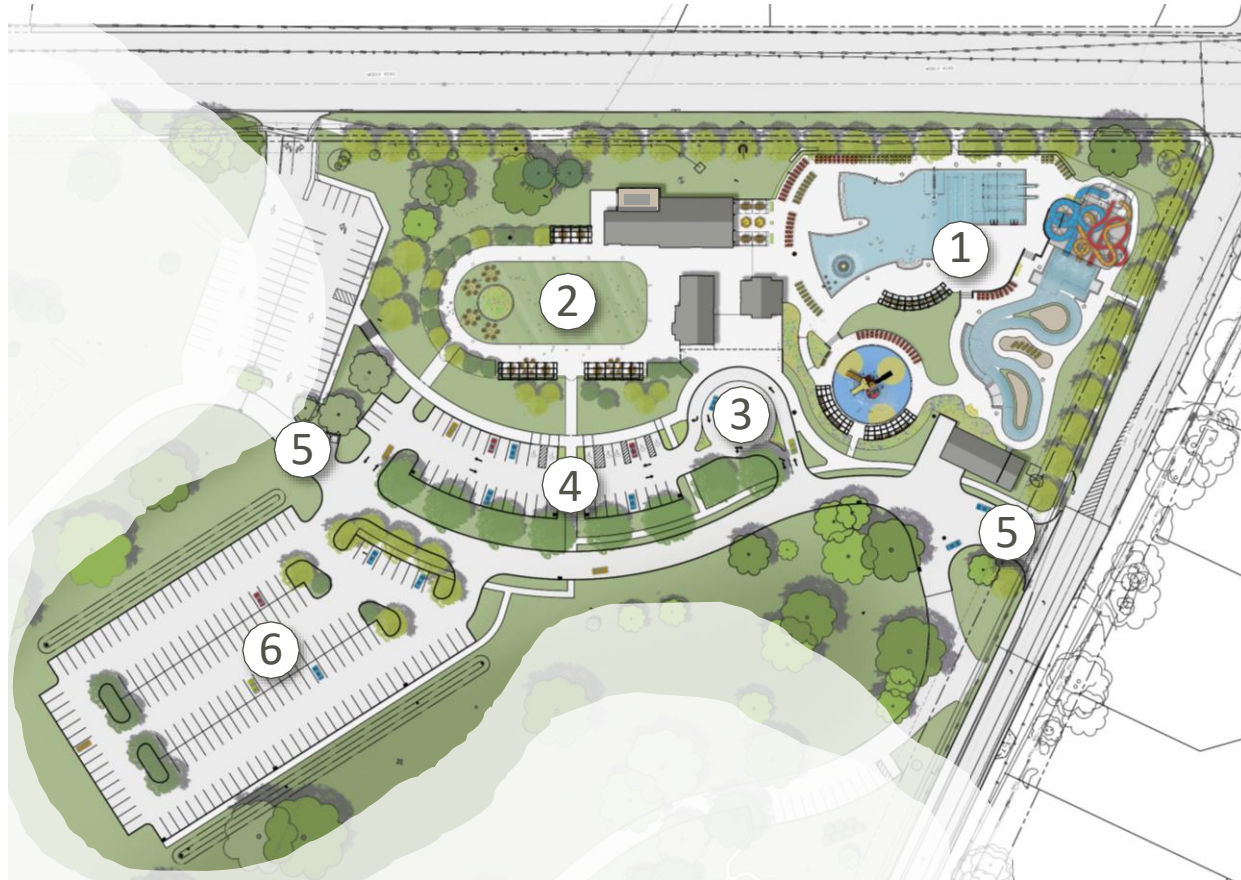
IMEG Project No:  
 22000616.03  
 File Name:  
 22000616\_03 - CITY SITE  
 © COPYRIGHT 2023  
 ALL RIGHTS RESERVED  
 Field Book No:####  
 Drawn By: ZSE  
 Checked By: JLH  
 Date: 02/21/2023  
**C-1**  
 Sheet 1 of 1



I hereby certify that this plan was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.  
 Signature: *Jason L. Holdorf* Date: 02/21/2023  
 Jason L. Holdorf  
 License No. 17137  
 My license renewal date is December 31, 2023.  
 Pages or sheets covered by this seal: THIS SHEET

Tuesday, February 21, 2023 5:13:38 PM  
 C:\Users\jholdorf\OneDrive\Desktop\City\22000616\_03 - CITY SITE PLAN.rvt - CITY SITE PLAN.rvt

# IMAGE GUIDE | The Landing - Site Layout Plan



## LEGEND

- ① SPLASH LANDING
- ② FROZEN LANDING
- ③ DROP OFF
- ④ PARKING
- ⑤ PARK DRIVE
- ⑥ PARKING



# IMAGE GUIDE | The Landing - Site Layout Plan



## LEGEND

- ① SHALLOW/LAP/DIVING POOL
- ② LAZY RIVER POOL
- ③ SPRAY GROUND
- ④ ICE/BATHHOUSE (BLDG A)
- ⑤ COMMUNITY (BLDG B)
- ⑥ ADMINISTRATION (BLDG C)
- ⑦ POOL EQUIPMENT (BLDG D)
- ⑧ SYNTHETIC AREA
- ⑨ SLIDES & TOWERS



# IMAGE GUIDE | Architectural Character

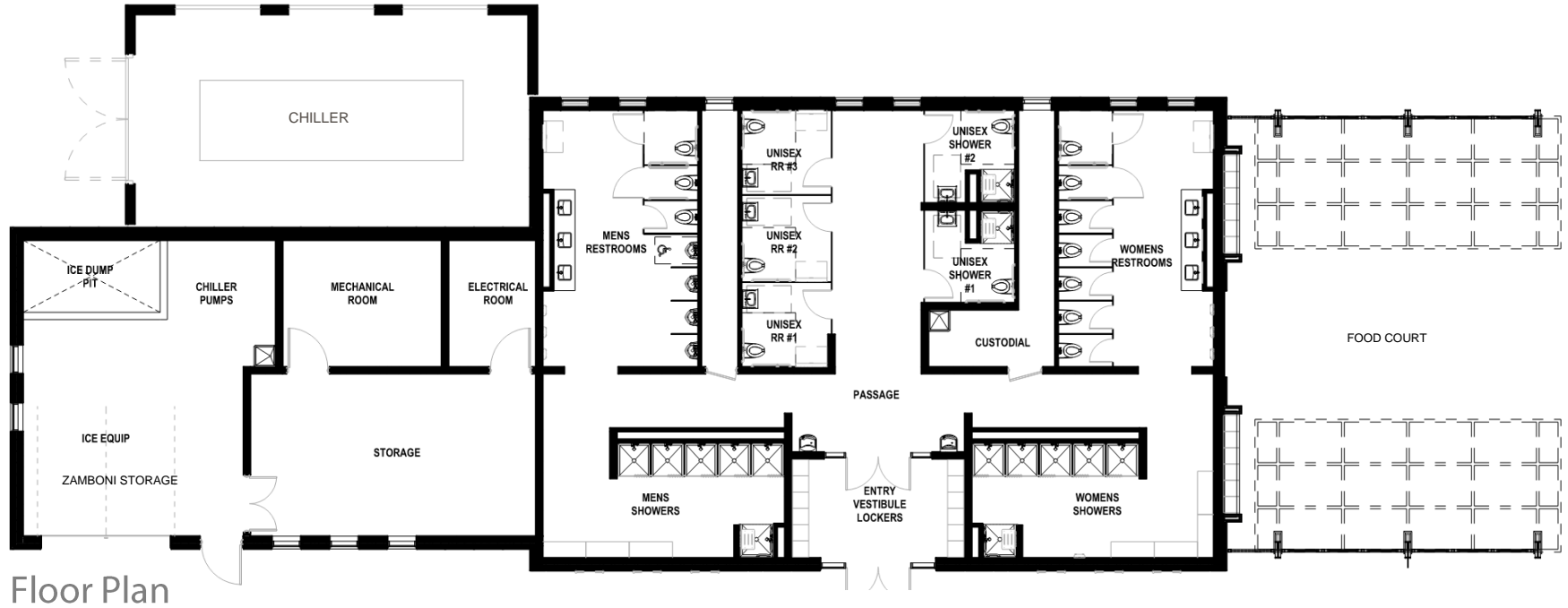
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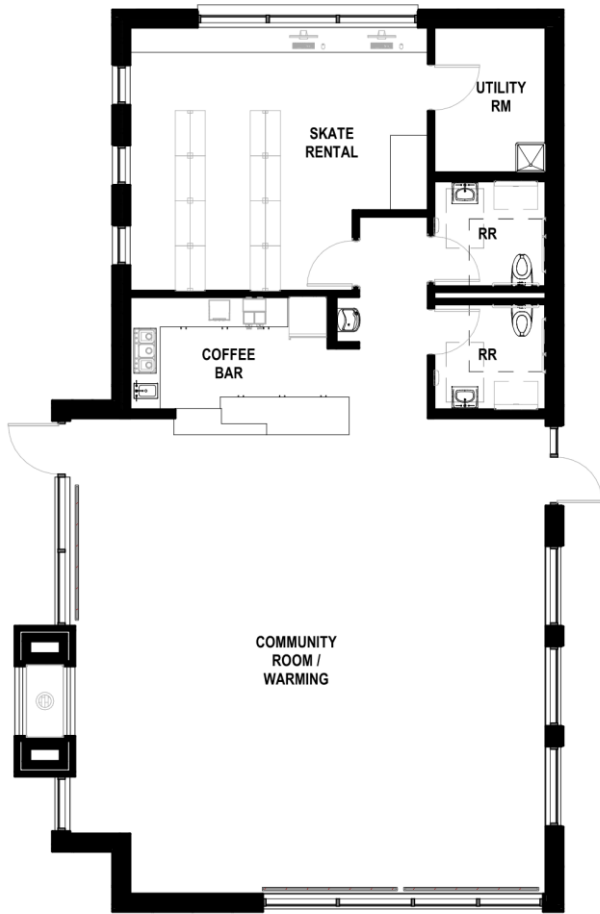
# IMAGE GUIDE | Architectural Character



# IMAGE GUIDE | Architecture – Ice / Bathhouse (Building A)



# IMAGE GUIDE | Architecture – Community Building (Building B)

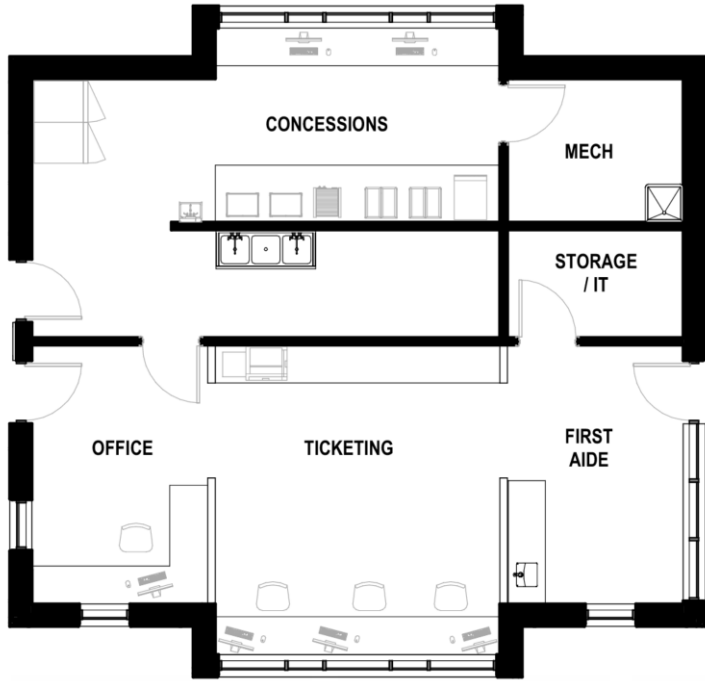




# IMAGE GUIDE | Interior – Community Building (Building B)



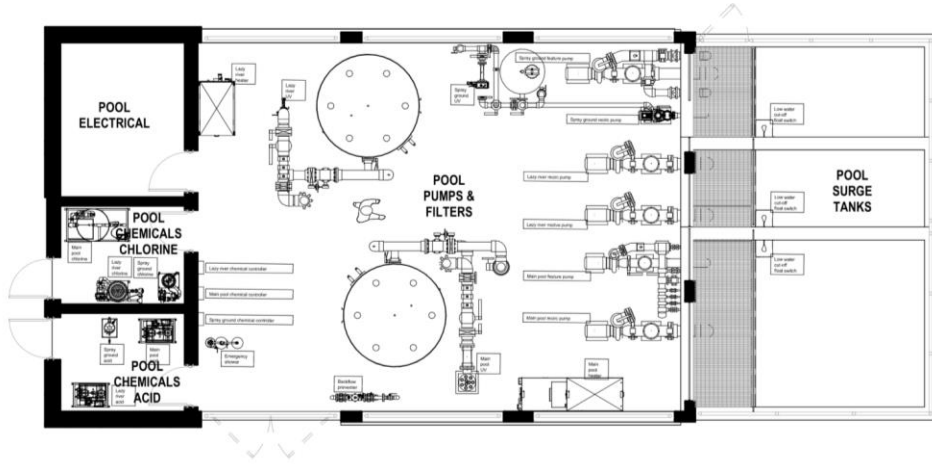
# IMAGE GUIDE | Architecture – Administration Building (Building C)

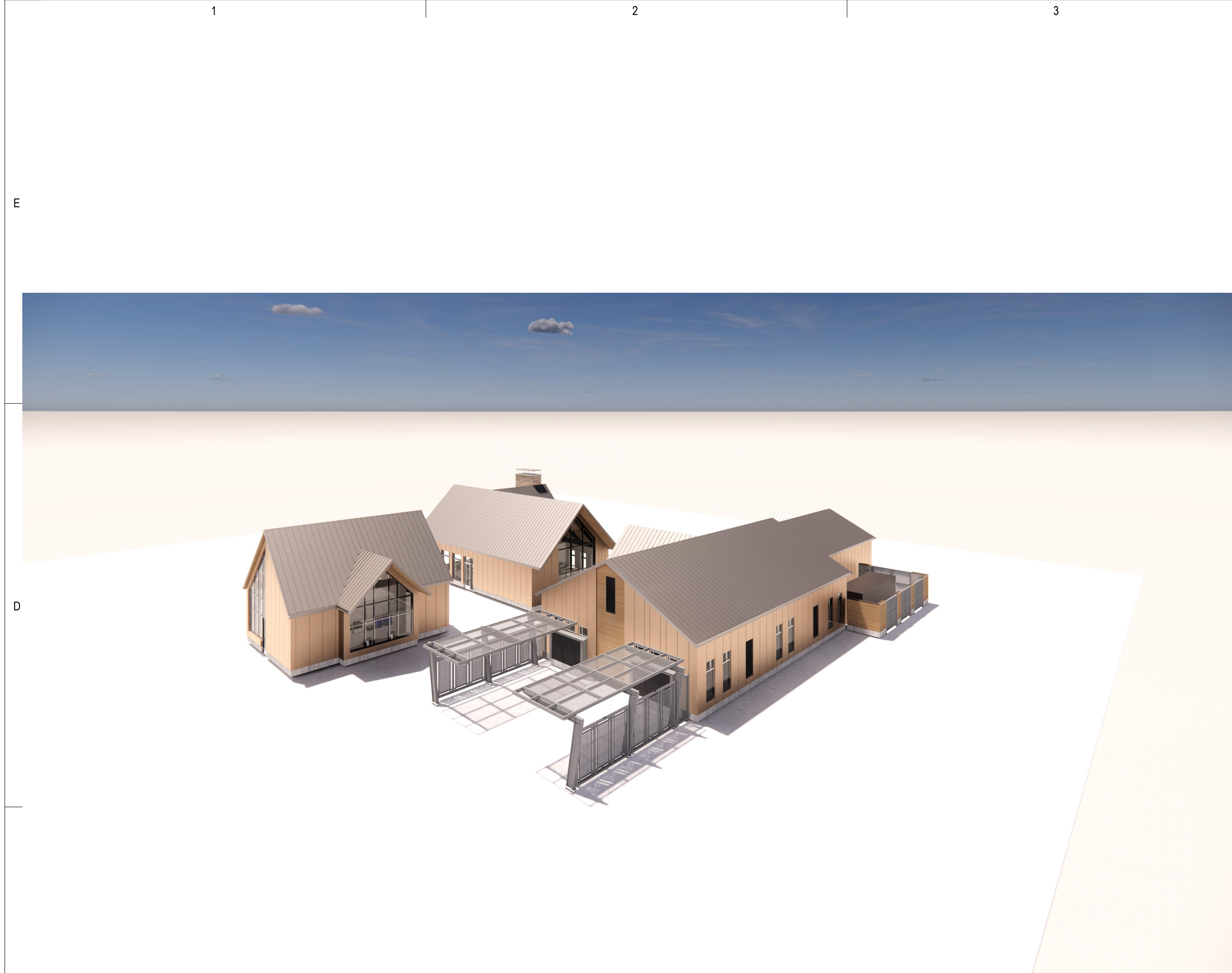


# IMAGE GUIDE | Interior – Administration Building (Building C)



# IMAGE GUIDE | Architecture – Pool Mechanical Building (Building D)

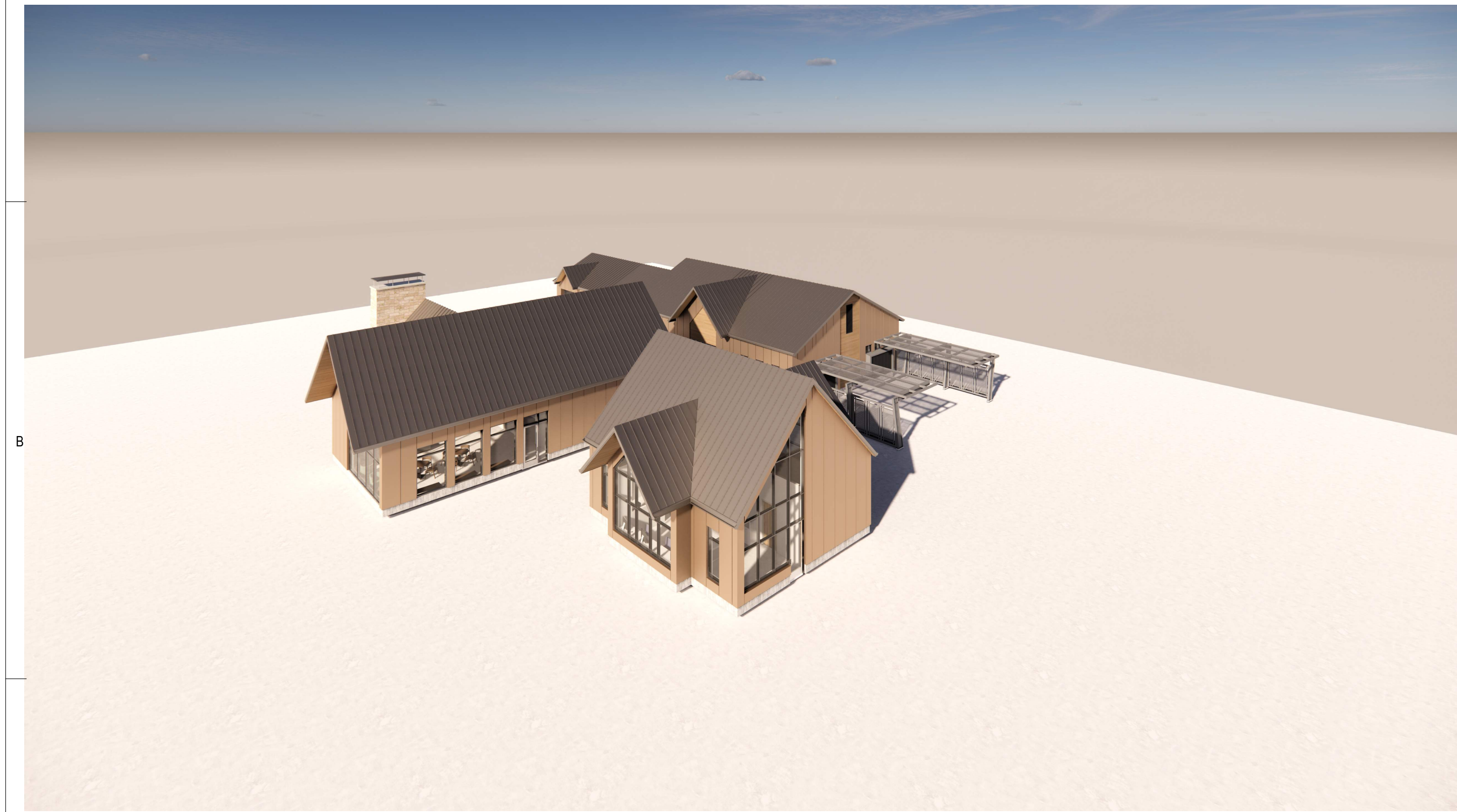




AERIAL PERSPECTIVE OF BLDS A - B & C FROM NORTHEAST



SOUTH ELEVATION - PERSPECTIVE OF BLDS A - B & C FROM SOUTH



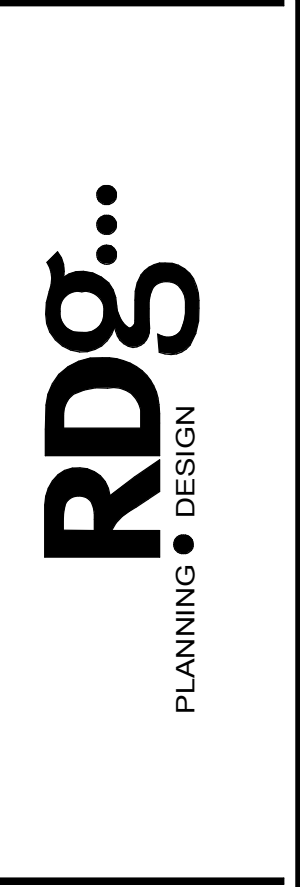
AERIAL PERSPECTIVE OF BLDS A - B & C FROM SOUTHEAST



AERIAL PERSPECTIVE OF BLDS A - B & C FROM SOUTHWEST

DATE PRINTED: 2/20/2023 12:10:11 PM

THE LANDING - PHASE 1: SPLASH LANDING NOT FOR CONSTRUCTION Construction Documents - Check Set



**CIVIL / STRUCTURAL**  
**PLUMBING / MECHANICAL**  
**ELECTRICAL**  
 IMEG Corporation  
 Rock Island, Illinois 61201  
 Phone: (309) 386-0973

**ARCHITECT**  
 RDG Planning & Design  
 2255 Middle Road  
 Bettendorf, Iowa 52008  
 Phone: (515) 286-3141

**LANDSCAPE ARCH**  
 RDG Planning & Design  
 2255 Middle Road  
 Bettendorf, Iowa 52008  
 Phone: (515) 286-3141

**ICE RINK**  
 ICE Engineering Group  
 2211 Chalk Road  
 Bettendorf, Iowa 52008  
 Phone: (515) 425-3290

**LIGHTING**  
 RDG Planning & Design  
 2255 Middle Road  
 Bettendorf, Iowa 52008  
 Phone: (515) 286-3141

**AQUATIC**  
 Wynn's Edge, LLC  
 11285 Wynn Road  
 Bettendorf, Iowa 52008  
 Phone: (515) 428-4288

Middle Park  
 2255 Middle Road  
 Bettendorf, IA 52722  
 CITY OF BETTENDORF

| KEY PLAN |        |
|----------|--------|
| ZONE 1   | ZONE 2 |

| NO. | DESCRIPTION | DATE         |
|-----|-------------|--------------|
| 01  | ISSUANCE    | 02/17/2023   |
| 02  | PROJECT NO. | R3065.325.01 |

RDG Planning & Design  
 THESE DOCUMENTS HAVE BEEN PREPARED  
 BY RDG SPECIFICALLY FOR THE  
 PROJECT: THE LANDING - PHASE 1: SPLASH  
 LANDING  
 PROJECT. THEY ARE NOT SUITABLE FOR USE  
 ON OTHER PROJECTS OR IN OTHER  
 LOCATIONS WITHOUT THE EXPRESS WRITTEN  
 APPROVAL AND PARTICIPATION OF RDG  
 PLANNING & DESIGN, INC. REPRODUCTION IS  
 PROHIBITED.  
 THIS DRAWING MAY NOT REPRESENT ALL  
 CHANGES THAT HAVE OCCURRED DURING BID  
 OR CONSTRUCTION PHASES. CONSTRUCTION  
 DOCUMENTS REMAIN THE OFFICIAL  
 CONSTRUCTION DOCUMENTS.

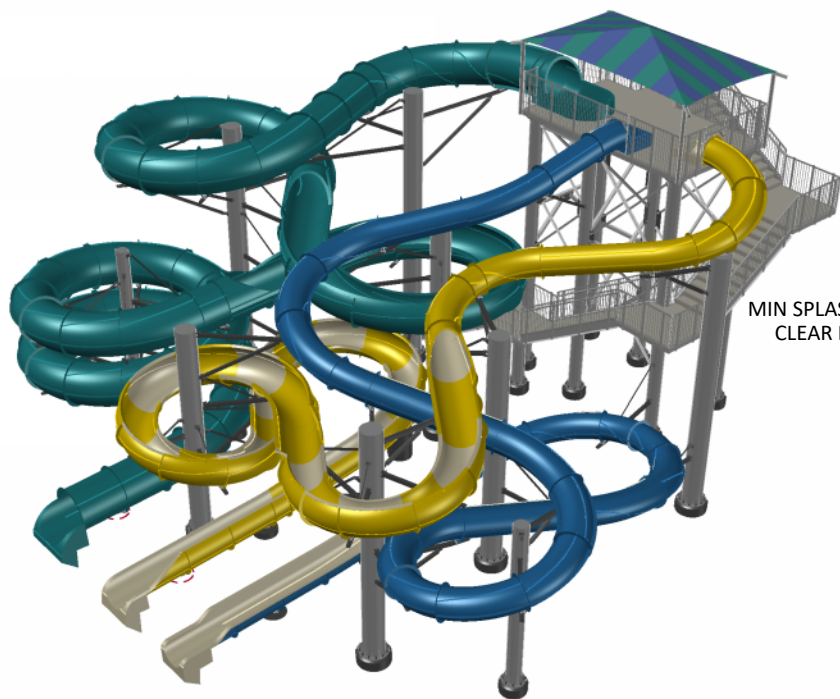
Buildings A-B-C  
 3D Perspective  
 Images

A15.01

| MARK          | SLIDE TYPE                   | GPM       | HEIGHT (ft) | LENGTH (ft) |
|---------------|------------------------------|-----------|-------------|-------------|
| A             | 32" ENCLOSED BODY SLIDE TO   | 800       | 31.50'      | 52.10'      |
|               | 42" OPEN FLUME BODY SLIDE    |           |             | 170.99'     |
| B             | 32" ENCLOSED BODY SLIDE TO   | 300-500   | 31.50'      | 174.38'     |
|               | 32" OPEN FLUME SPEED SLIDE   |           |             | 26.09'      |
| C             | 54" OPEN/ENCLOSED TUBE SLIDE | 1200-1800 | 31.50'      | 339.67'     |
| TOTAL LENGTH: |                              |           |             | 763.23'     |

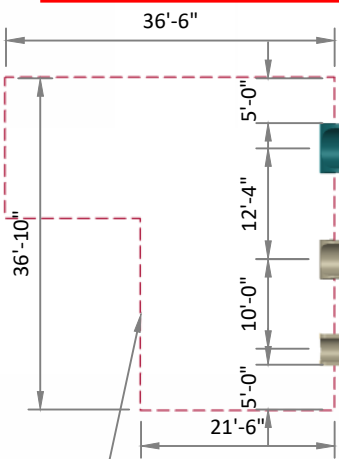
Slide height is from finished pool deck to finished start deck.  
~~Water level is assumed to be even with the finished pool deck.~~

Lazy river and plunge area have 6" freeboard



MIN SPLASH POOL CLEAR EXTENTS

Provide translucent bands in enclosed portions.  
 HDG finish...no paint. To keep costs down.

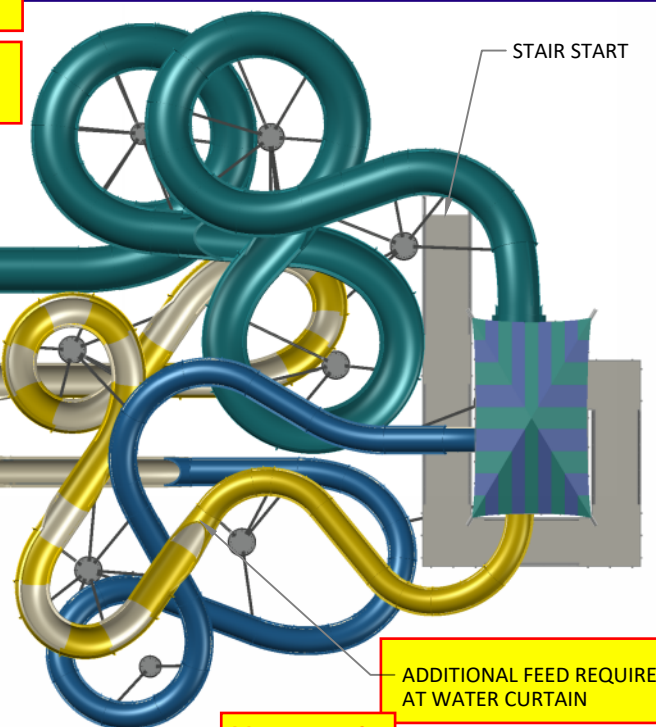


WATER LEVEL EL. 100.00'

WATER DEPTH = 3'-6"

START DECK EL. 131'-6"

POOL DECK EL. 100.00'



Yes or no ?



# SLIDE TOWER

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PRELIMINARY  
NOT FOR CONSTRUCTION

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**SPLASHTACULAR**  
Waterslides and Waterpark Attractions

401 N East Street  
Paola, KS 66071

v. 800.844.5334  
f. 913.294.2496

TITLE: **PROPOSED OUTDOOR SLIDE COMPLEX**

PROJECT:

CLIENT:

DATE: 2.9.23

SCALE: NTS

DESIGNER: SCM

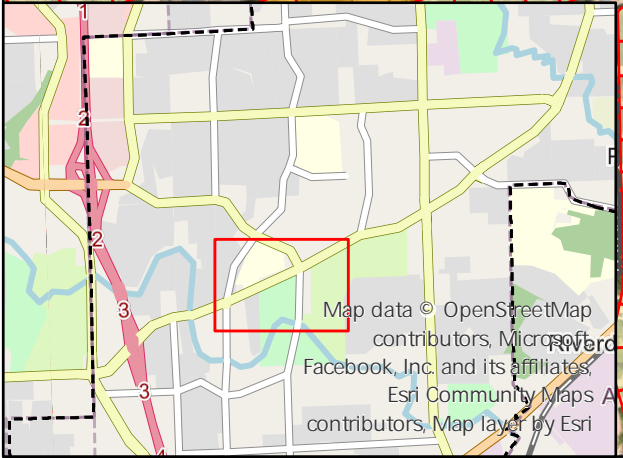
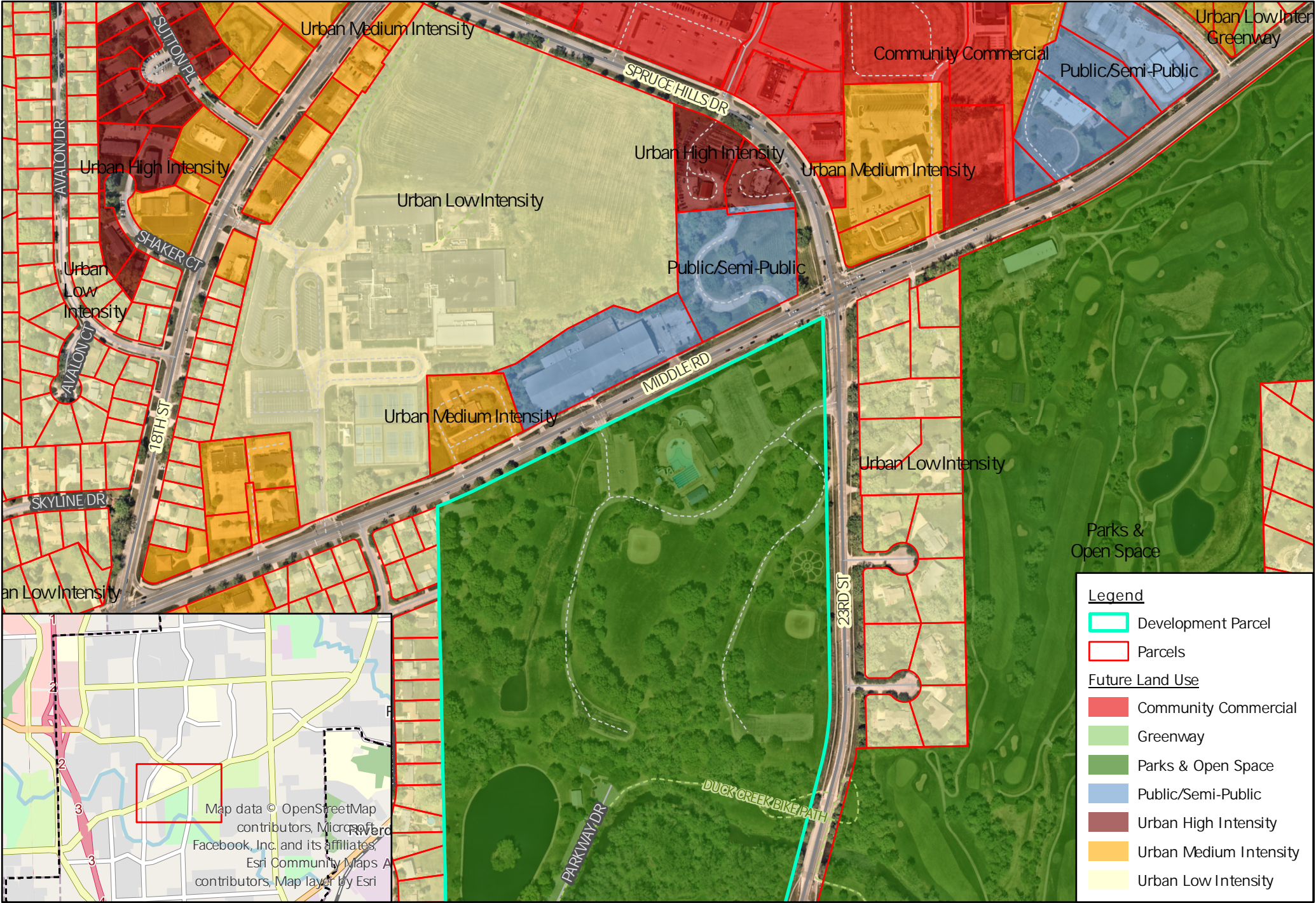
CITY: BETTENDORF

COUNTRY: USA

STATE: IOWA

SLD3

1 OF 1



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps API contributors, Map layer by Esri

**Legend**

- Development Parcel
- Parcels

**Future Land Use**

- Community Commercial
- Greenway
- Parks & Open Space
- Public/Semi-Public
- Urban High Intensity
- Urban Medium Intensity
- Urban Low Intensity

**GENERAL PLANTING PLAN NOTES**

- Sod or seed, as noted, all disturbed areas within construction limits not covered by structures, paving, plantings or otherwise noted.
- Repair all existing turf areas to pre-damaged conditions which are disturbed during construction at no cost to the owner. Repair, grade and sod areas as specified for new sodding.
- Plant quantities are for information only; drawing shall prevail if conflict occurs.
- Notify landscape architect after plant location staking is completed and before plants are excavated.
- Contractor shall place shredded hardwood mulch around all trees and shrubs located outside the aquatics area fence to a minimum depth of 3 inches. See details on sheet L04.00.
- Contractor shall place rock mulch around all shrubs and perennials located within the aquatics area fence to a minimum depth of 3 inches. See details on sheet L04.00. Special care to be taken by the contractor during installation of the rock mulch to ensure the protection of the shrubs and perennials.
- Backfill to top of curb. (Minus 1/2" for sod, if required)
- Final grades to be approved by landscape architect.
- All debris spilled on the public R.O.W. or adjacent property shall be picked up by the contractor at the end of each work day.
- Landscape architect may visit nursery to select plant material.
- Refer to grading plan and specifications for erosion control blanket locations.
- All sodded areas within the aquatics area fence to receive permanent irrigation. Refer to Irrigation Performance Specification.

**SITE PLANTING PLAN NOTES**

- Finish grades in all landscape areas are to be reviewed by the Landscape Architect prior to any seeding, sodding, or planting. The Contractor shall submit a written request for review five (5) days prior to the desired date of review. No compensation for re-seeding, re-sodding, or re-planting of an area requiring remedial grading shall be allowed resulting from failure to comply with this requirement.
- The Contractor shall preserve areas of existing vegetation, including grass, that occur within the Contract Limits but are not needed for construction. Repair all of these existing areas to their original condition which are disturbed during construction at no cost to the Owner.
- All areas disturbed during construction, outside of the Contract Limits, shall be repaired to their original condition at no expense to the Owner.
- Prior to planting, verify that soil adjacent to pavements and curbs are at the correct elevation to assure a level transition from the pavement to the mulched beds. No compensation for removal and replacement of installed plants and mulch, due to unacceptable transition from one surface to the other (i.e. plant bed too high or too low), will be allowed resulting from failure to comply with this requirement.
- Quantities shown in the Plant Schedule are for information only. The Drawing shall prevail if a conflict occurs.
- Notify the Landscape Architect in writing five (5) days prior to the anticipated date for review of the plant location staking. Review to be requested prior to excavation of the planting pits.
- Plant labels and tags shall be left on the plant material until after the initial inspection by the Landscape Architect.
- Tree staking or guying is not a requirement of this contract. The Landscape Contractor shall be responsible for all trees to be straight and vertical at the time of the final inspection scheduled at the end of the one year warranty period. Should the Contractor choose to stake or guy the trees, staking and guying shall be placed per the Contract Documents and the Contractor is responsible for removing and off-site disposal of all stakes, wires, cables, and anchors immediately before the one year warranty inspection.

**SITE LANDSCAPE REQUIREMENTS**

**ZONING CLASSIFICATION:**  
R2 SINGLE-FAMILY RESIDENCE DISTRICT

**11-12.5 STREET YARD LANDSCAPING REQUIREMENT:**  
R2 DISTRICT: 25 FEET MINIMUM DEPTH

**11-12.6 BUFFER YARDS AND SCREENING:**  
SURROUNDING ZONES: C-1R-1 AND R-2  
NO BUFFER YARD REQUIRED

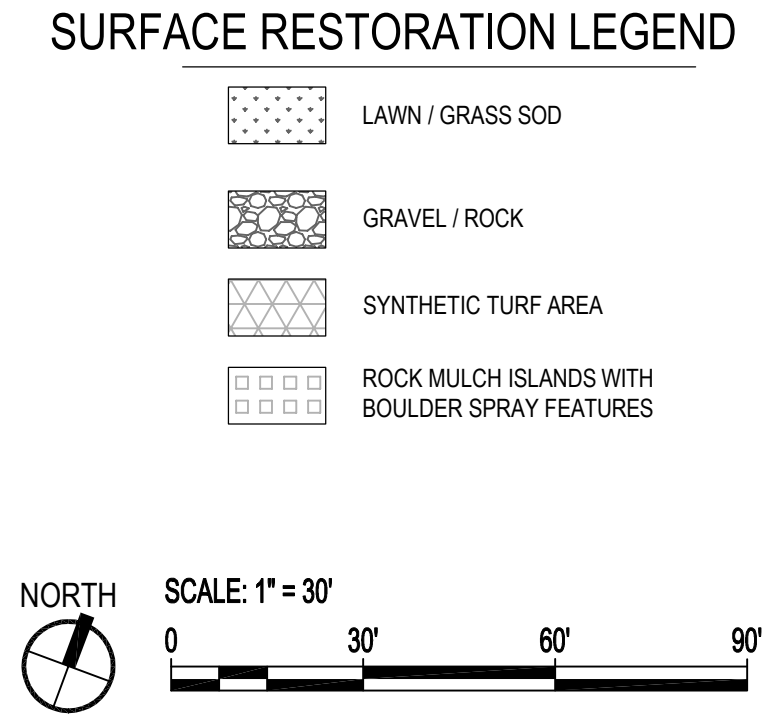
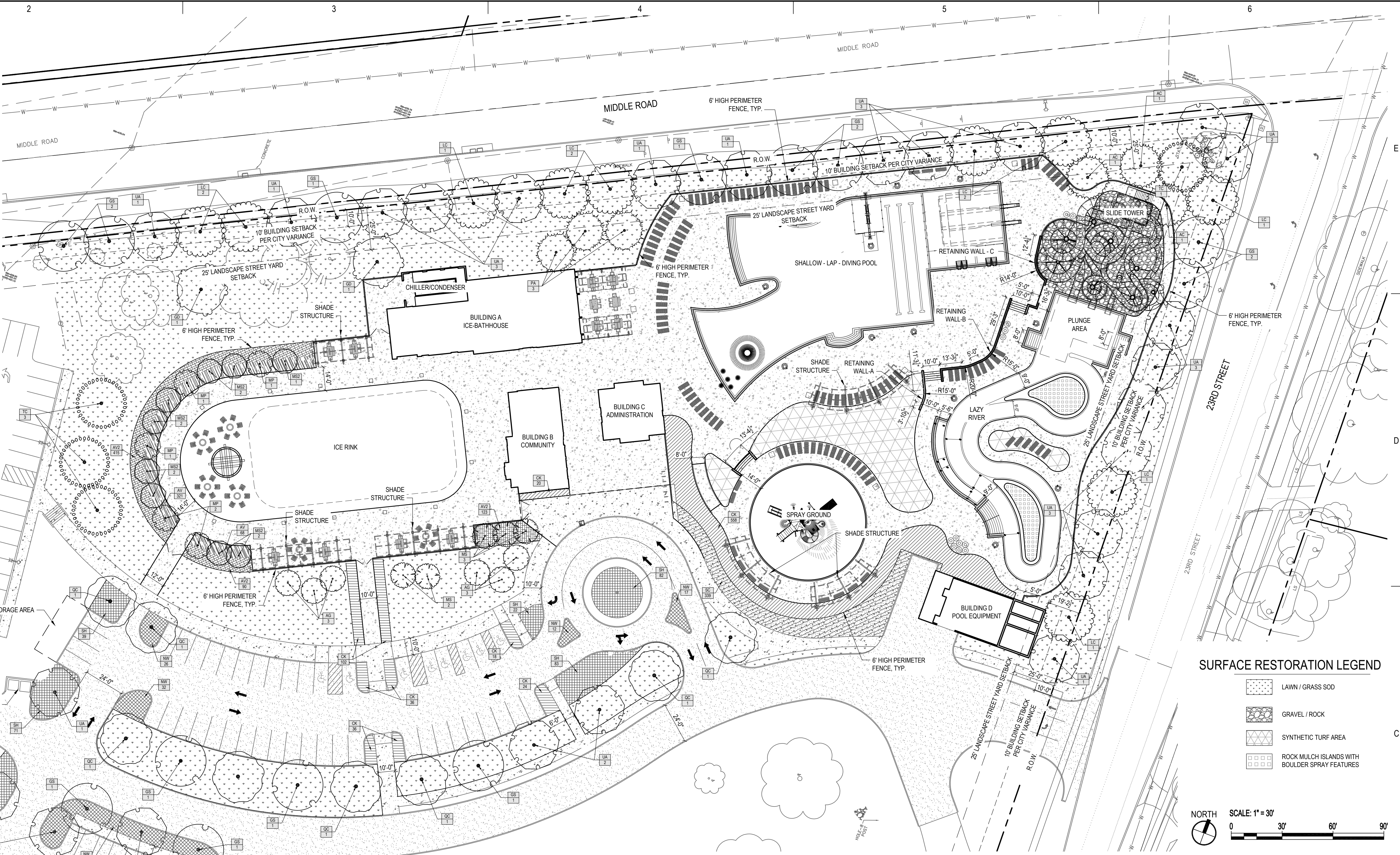
**11-12.7 LANDSCAPING REQUIREMENTS FOR VEHICULAR USE AREAS:**  
7% TOTAL VEHICULAR USE AREA

**NORTH PARKING LOT: 45,748 SQUARE FEET**  
TOTAL LANDSCAPE AREA REQUIRED: 3,202 SQUARE FEET  
TOTAL LANDSCAPE AREA PROVIDED: 4,522 SQUARE FEET  
TREES PROVIDED PER LANDSCAPE AREA (1/500 SQUARE FEET):  
TOTAL TREES REQUIRED: 7  
TOTAL TREES PROVIDED: 14

**SOUTH PARKING LOT: 58,339 SQUARE FEET**  
TOTAL LANDSCAPE AREA REQUIRED: 4,083 SQUARE FEET  
TOTAL LANDSCAPE AREA PROVIDED: 5,096 SQUARE FEET  
TREES PROVIDED PER LANDSCAPE AREA (1/500 SQUARE FEET):  
TOTAL TREES REQUIRED: 8  
TOTAL TREES PROVIDED: 17

**11-12.8 TREE REQUIREMENTS:**  
MIDDLE ROAD: 712 FEET OF R.O.W.  
TOTAL STREET TREE REQUIRED: 26  
TOTAL STREET TREE PROVIDED: 25  
TREES TO BE PRESERVED: 1

**23RD STREET: 353 FEET OF R.O.W.**  
TOTAL STREET TREE REQUIRED: 13  
TOTAL STREET TREE PROVIDED: 25  
TREES TO BE PRESERVED: 1

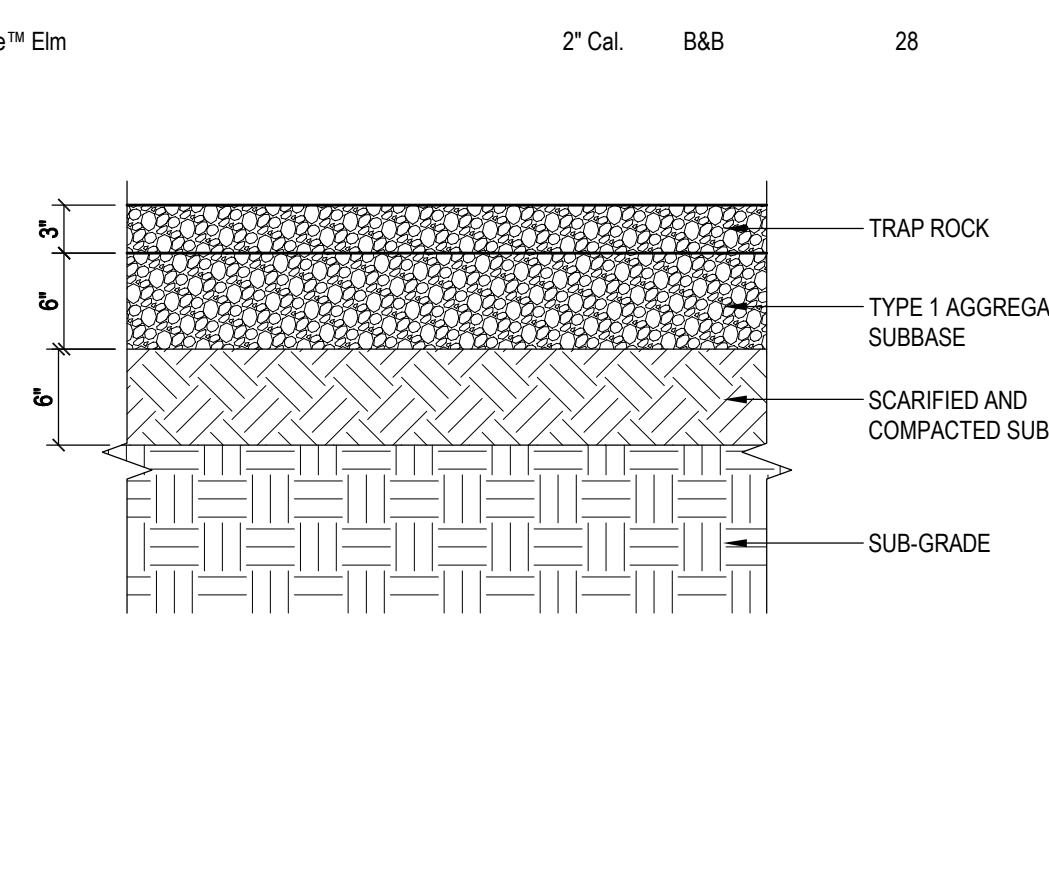
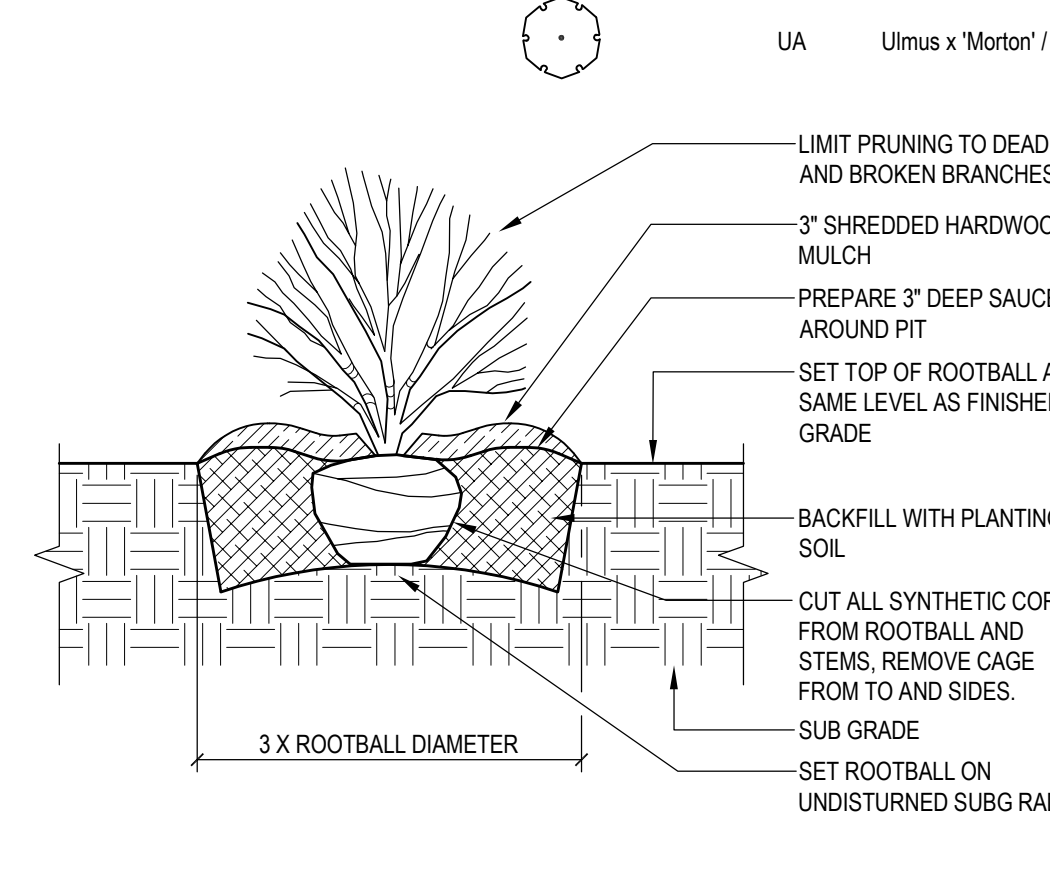
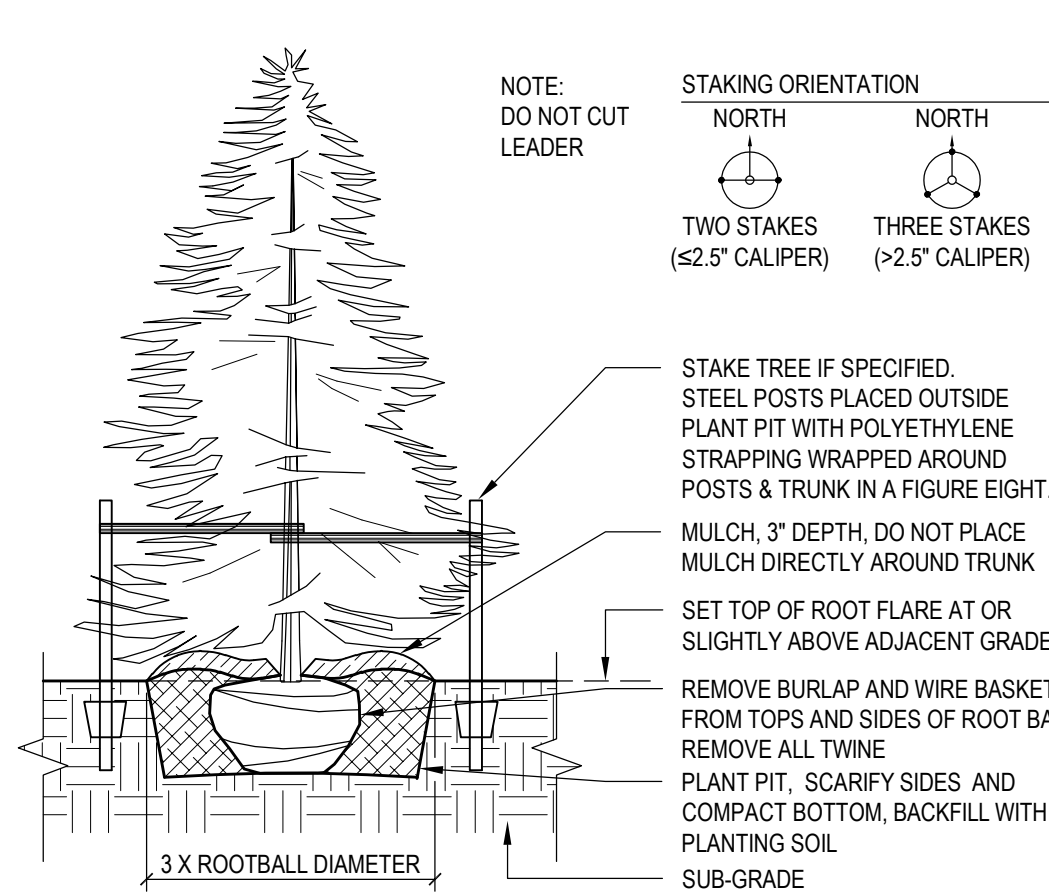
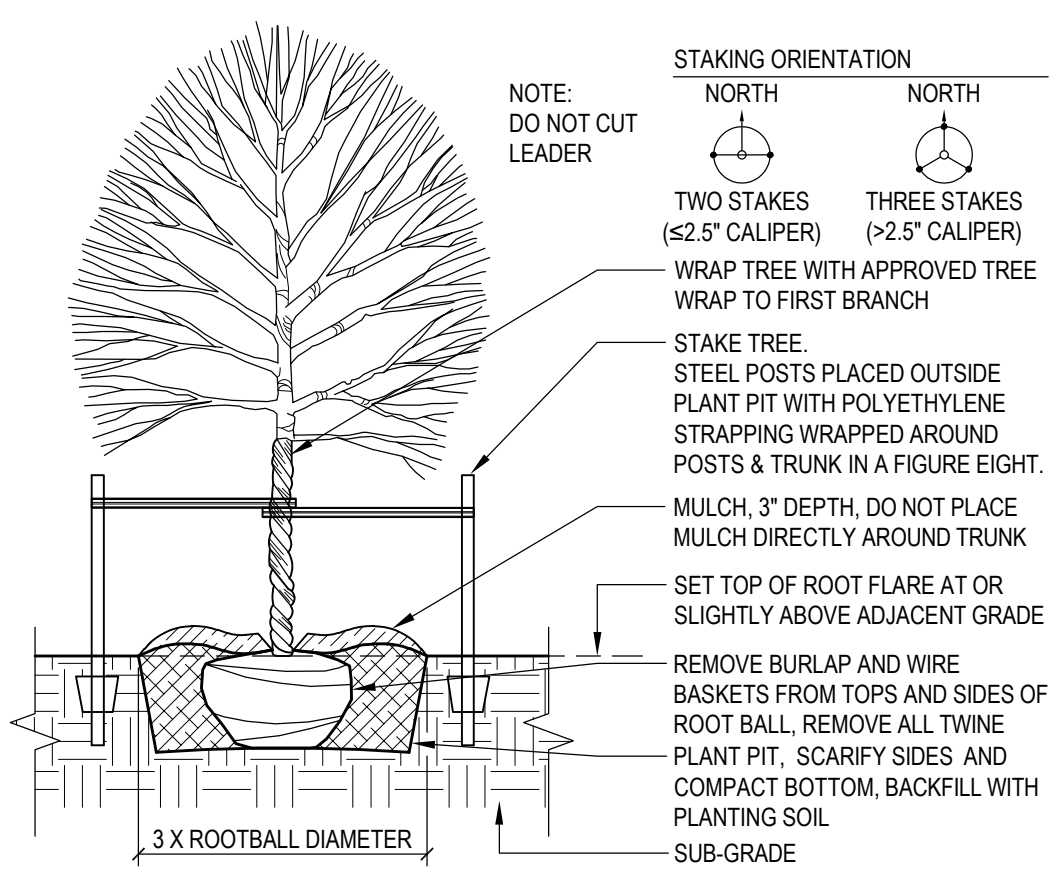


**PLANT SCHEDULE**

| GROUND COVERS | CODE | BOTANICAL / COMMON NAME                                                        | SIZE | CONTAINER | SPACING  | QTY |
|---------------|------|--------------------------------------------------------------------------------|------|-----------|----------|-----|
| [Pattern]     | AV2  | Astilbe chinensis 'Vision in Red' / Vision in Red Chinese Astilbe              | #1   | CONT.     | 24" o.c. | 628 |
| [Pattern]     | AV   | Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe          | #1   | CONT.     | 24" o.c. | 389 |
| [Pattern]     | CK   | Calamagrostis x scoullifera 'Karl Foerster' / Karl Foerster Feather Reed Grass | #1   | CONT.     | 30" o.c. | 794 |
| [Pattern]     | NW   | Nepeta x 'Walker's Low' / Walker's Low Catmint                                 | #1   | CONT.     | 36" o.c. | 492 |
| [Pattern]     | SC   | Schizachyrium scoparium 'Carousef' / Carousef Little Bluestem                  | #1   | CONT.     | 30" o.c. | 339 |
| [Pattern]     | SH   | Sporobolus heterolepis / Prairie Dropseed                                      | #1   | CONT.     | 36" o.c. | 547 |

**PLANT SCHEDULE**

| TREES    | CODE | BOTANICAL / COMMON NAME                                                              | SIZE      | CONTAINER | QTY |
|----------|------|--------------------------------------------------------------------------------------|-----------|-----------|-----|
| [Symbol] | AC   | Abies concolor / White Fir                                                           | 8' Ht.    | B&B       | 3   |
| [Symbol] | AG   | Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry | 1.5" Cal. | B&B       | 6   |
| [Symbol] | GS   | Gleditsia triacanthos nemris 'Skyline' / Skyline Honey Locust                        | 2" Cal.   | B&B       | 17  |
| [Symbol] | GD   | Gymnocladus dioica 'Espresso' / Kentucky Coffeetree                                  | 2" Cal.   | B&B       | 2   |
| [Symbol] | LC   | Liquidambar styraciflua 'Ward' / Chickadee™ Sweet Gum                                | 2" Cal.   | B&B       | 10  |
| [Symbol] | MS   | Magnolia x soulangeana / Saucer Magnolia                                             | 1.5" Cal. | B&B       | 5   |
| [Symbol] | MP   | Malus x 'Prairiefire' / Prairiefire Crabapple                                        | 1.5" Cal. | B&B       | 5   |
| [Symbol] | MS2  | Malus x 'Spring Snow' / Spring Snow Crabapple                                        | 1.5" Cal. | B&B       | 9   |
| [Symbol] | PA   | Picea abies / Norway Spruce                                                          | 6' Ht.    | B&B       | 3   |
| [Symbol] | QC   | Quercus coccinea / Scarlet Oak                                                       | 2" Cal.   | B&B       | 13  |
| [Symbol] | TC   | Tsuga canadensis / Eastern Hemlock                                                   | 8' Ht.    | B&B       | 4   |
| [Symbol] | UA   | Ulmus x 'Morton' / Accolade™ Elm                                                     | 2" Cal.   | B&B       | 28  |



**CONSTRUCTION DOCUMENTS**

**NOT FOR CONSTRUCTION**

**THE LANDING - PHASE 1: SPLASH LANDING**

**RDG**  
PLANNING • DESIGN

**CIVIL/STRUCTURAL PLUMBING/MECHANICAL ELECTRICAL**

**ARCHITECT**  
RDG Planning & Design  
1000 1st Avenue, Suite 200  
Des Moines, Iowa  
(515) 281-3141

**LANDSCAPE ARCHITECT**  
RDG Planning & Design  
1000 1st Avenue, Suite 200  
Des Moines, Iowa  
(515) 281-3141

**ICE RINK**  
RDG Engineering Group  
1000 1st Avenue, Suite 200  
Des Moines, Iowa 50319  
(515) 281-3100

**AQUATIC**  
RDG Engineering Group  
1000 1st Avenue, Suite 200  
Des Moines, Iowa 50319  
(515) 281-3100

**KEY PLAN**

**Middle Park**  
2255 Middle Road  
Bettendorf, IA 52722  
City Of Bettendorf, Iowa

**OVERALL SITE PLANTING PLAN**

**L04.00**

SHEET L04.00 OF 4  
PDS PRINTED: 2/17/2023 1:14:47 PM



## STAFF REPORT

**Subject:** Legacy Corners Southeast  
**Author:** Taylor Beswick  
**Department:** Community Development  
**Date:** March 15, 2023

---

**Case No.:** 23-010  
**Request:** Final Plat of Legacy Corners Southeast  
**Location:** Southeast corner of Middle Road and 53<sup>rd</sup> Avenue  
**Legal Description:** (Parcel #: [841137014](#))  
**Applicant:** Townsend Engineering representing Ryan Fick – Century Heights Limited Partners  
**Current Zoning:** C-2, Community Commercial District  
**Future Land Use:** NC, Neighborhood Commercial

---

### Background Information & Facts

Townsend Engineering, representing Ryan Fick of Century Heights Limited Partners, is proposing a three lot subdivision named Legacy Corners Southeast located on undeveloped land southeast of the intersection of Middle Road and 53<sup>rd</sup> Avenue (see [Attachment A – Aerial Map](#) and [Attachment B – Legacy Corners Southeast Final Plat](#)). The parcel is located in the C-2, Community Commercial zoning district and is bordered by medium density residentially-zoned development to the east and south and undeveloped commercially-zoned tracts to the north and west (see [Attachment C - Zoning Map](#)). The Future Land Use Map contemplates the tract of land on each corner of the Middle Road/53<sup>rd</sup> Avenue roundabout as Neighborhood Commercial (NC) (see [Attachment D - Future Land Use Map](#)).

The applicant recently requested special use permits to allow a Kwik Star convenience store with up to 10 gas pumps and a car wash in the C-2 district (Case No. 23-008 and 23-009). The Board of Adjustment approved both requests, as specified in the submitted concept plan, with the condition of reversing previously approved special use permits for a similar development on the northeast corner of Middle Road and 53<sup>rd</sup> Avenue (see [Attachment E - Concept Plan](#)).

### Future Land Use and Comprehensive Plan

The Future Land Use Map contemplates each tract of land on the corners of the Middle Road/53<sup>rd</sup> Avenue roundabout as Neighborhood Commercial (NC). This area has consistently been contemplated on the City's Future Land Use map going back to at least 1994 (see [Attachment F - Historical Future Land Use](#)). The proposed subdivision aligns with Goal A: Develop New Land and Streets and Goal C: Attract and Retain Business and Industry in the Comprehensive Plan.

### Lot Configuration & Zoning Compliance

The plat proposes a total of three lots, including one outlot reserved for stormwater detention. Lot 1 of the proposed plat is the proposed location of a Kwik Star gas station. The commercially-zoned area is adjacent to Century Heights Ninth Addition, a villa style duplex residential development, which was platted to include a 50-foot deep landscape buffer easement. The landscape buffer includes an earthen berm, mature evergreen trees, and a fence. Additional screening and/or buffering would be analyzed at the site development plan stage for each proposed commercial lot.

## **Utilities**

The site has access to City sanitary sewer and Iowa American water. Sufficient utility easements are provided on each developable lot. A sanitary sewer and storm sewer easement is shown for existing infrastructure.

## **Thoroughfare Plan & Access**

All lots have frontage on either Middle Road, 53<sup>rd</sup> Avenue, or Red Fox Road. A 30-foot wide access easement on Lot 2 provides Middle Road access to Lot 1. Sufficient right-of-way exists for the future expansion of Middle Road. The access easement's connection to Middle Road on Lot 2 has been reviewed by the City Engineer and deemed to have an acceptable separation distance from the Middle Road and 53<sup>rd</sup> Avenue roundabout. Future curb cuts would be reviewed at the site development plan stage for each lot.

## **Pedestrian and Trail Access**

The Middle Road bicycle and pedestrian trail currently exists along the Middle Road and 53<sup>rd</sup> Avenue frontages of the proposed subdivision. Future commercial developments will have access to the trail, and private connections will be reviewed at the site development plan stage for each lot.

## **Stormwater Detention**

Lot A is reserved for stormwater detention for developments on Lot 1 and 2. This detention will not interfere with existing City sanitary sewer and stormwater sewer infrastructure at this location.

## **Floodplain**

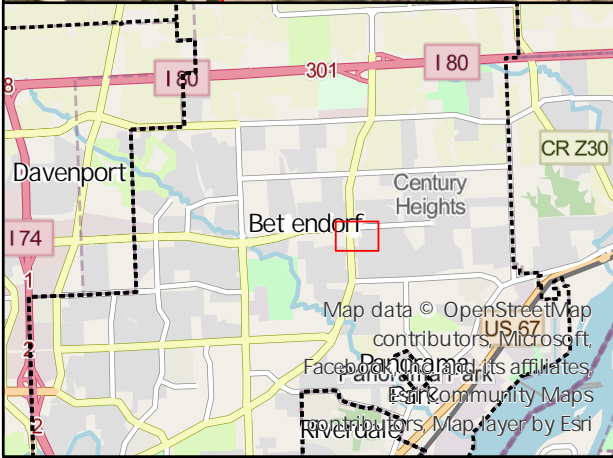
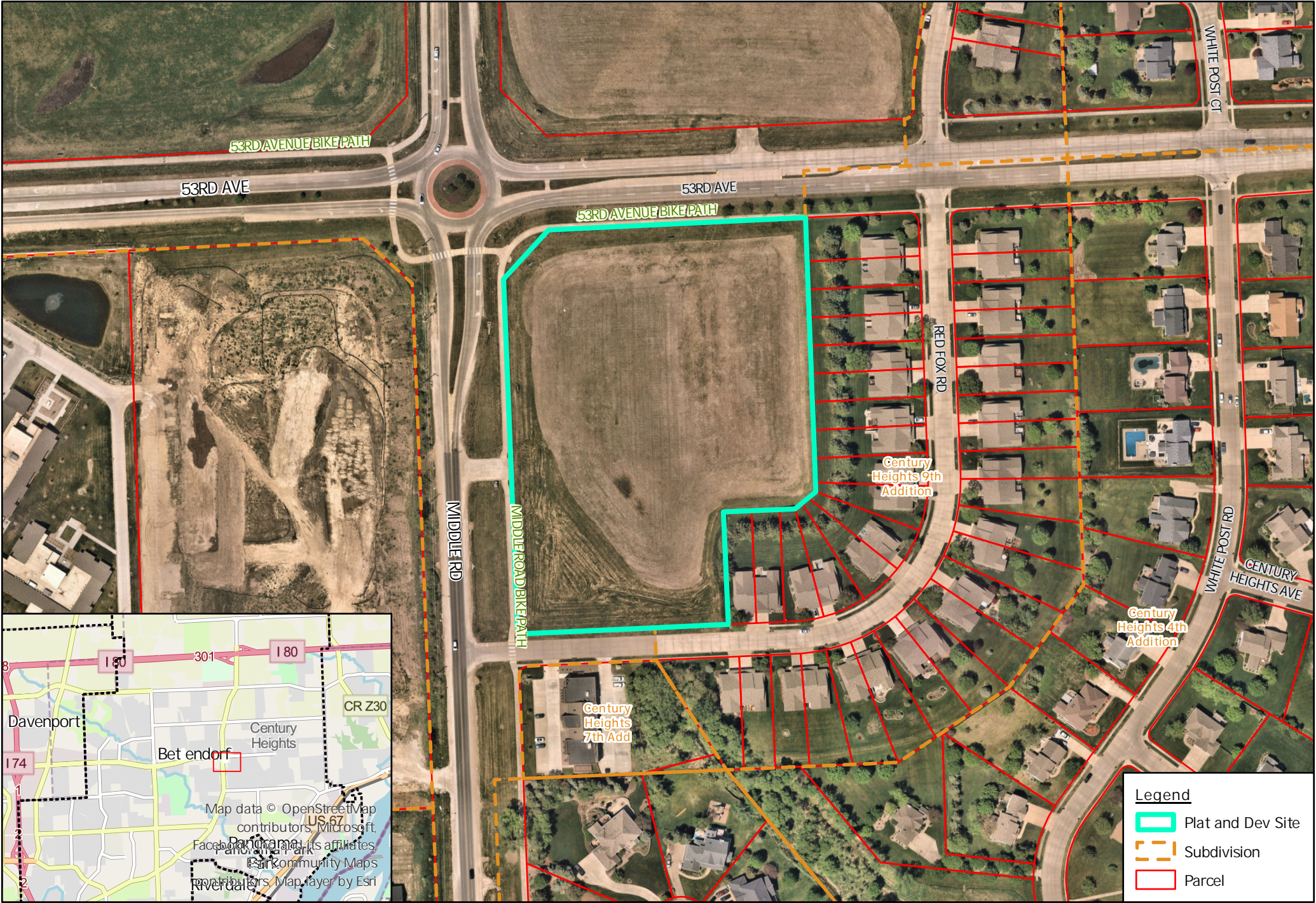
Small portions of Lot 2 and Outlot A are located in the 100-year floodplain. All floodplain regulations and permitted are required to be followed related to this area.

## **Staff Recommendation**

Staff recommends approval of the final plat of Legacy Corners Southeast.

Respectfully submitted,

Taylor Beswick  
City Planner

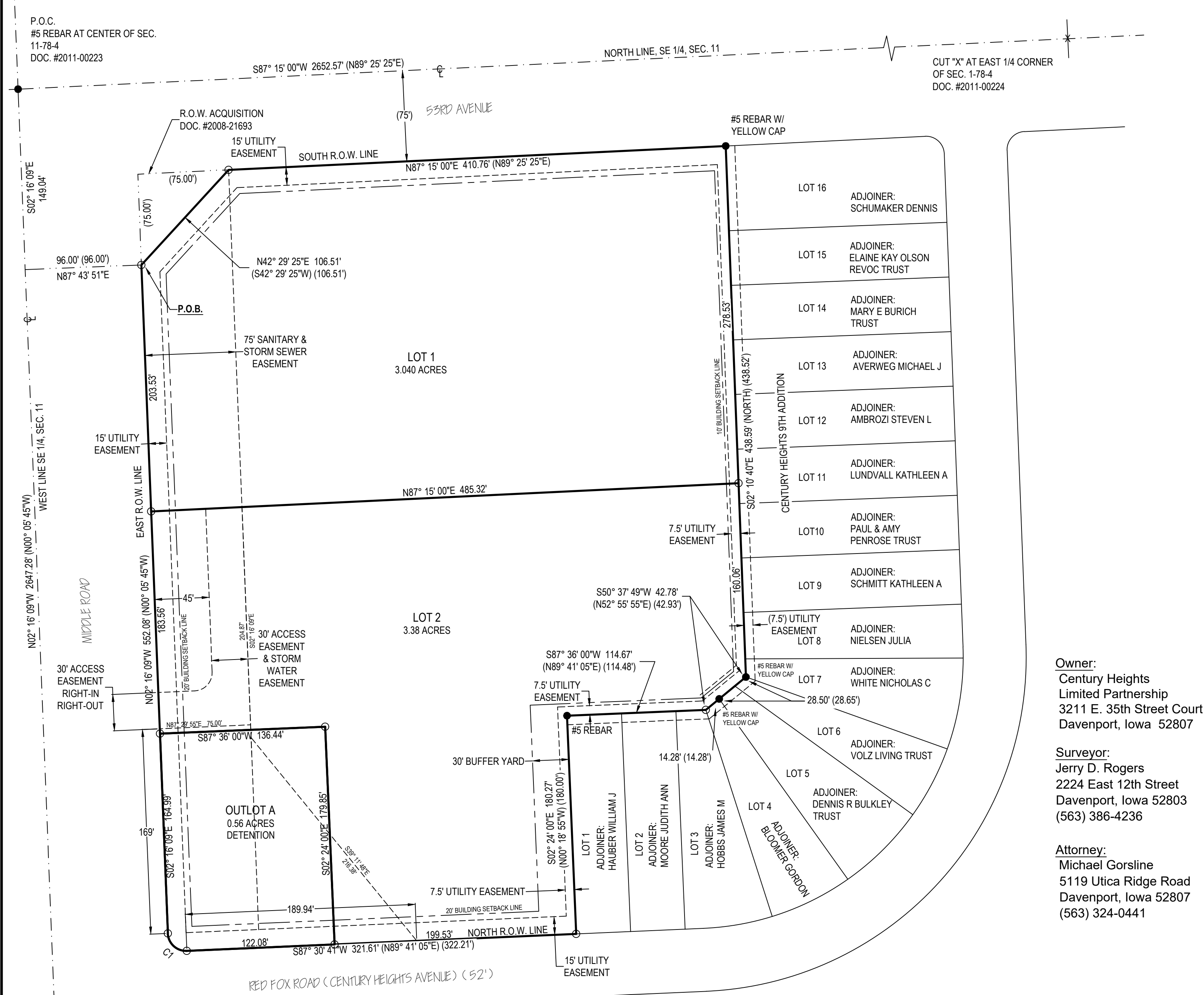


**Legend**

- Plat and Dev Site
- Subdivision
- Parcel

# FINAL PLAT OF: LEGACY CORNERS SOUTHEAST

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST  
QUARTER OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 4  
EAST OF THE 5TH P.M., SCOTT COUNTY, IOWA.



**Owner:**  
Century Heights  
Limited Partnership  
3211 E. 35th Street Court  
Davenport, Iowa 52807

**Surveyor:**  
Jerry D. Rogers  
2224 East 12th Street  
Davenport, Iowa 52803  
(563) 386-4236

**Attorney:**  
Michael Gorsline  
5119 Utica Ridge Road  
Davenport, Iowa 52807  
(563) 324-0441

| Curve # | Length             | Radius             | Delta                    | Chord Length       | Chd. Direction                   |
|---------|--------------------|--------------------|--------------------------|--------------------|----------------------------------|
| C1      | 23.62'<br>(23.62') | 15.00'<br>(15.00') | 90°13'10"<br>(90°13'10") | 21.25'<br>(21.25') | N47° 22' 44"W<br>(N45° 12' 20"W) |

**NOTES:**

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.

"UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER, SANITARY SEWER AND COMMUNICATION LINES AS NEEDED.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

THE SUBJECT PROPERTY ZONED C-2.

PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.

ACCESS TO MIDDLE ROAD SHALL BE RESTRICTED TO RIGHT IN / RIGHT OUT ONLY.

APPROVAL SIGNATURES:

MAYOR \_\_\_\_\_ DATE: \_\_\_\_\_

CITY CLERK \_\_\_\_\_ DATE: \_\_\_\_\_

CHAIRMAN PLAN & ZONE \_\_\_\_\_ DATE: \_\_\_\_\_

CENTURY LINK \_\_\_\_\_ DATE: \_\_\_\_\_

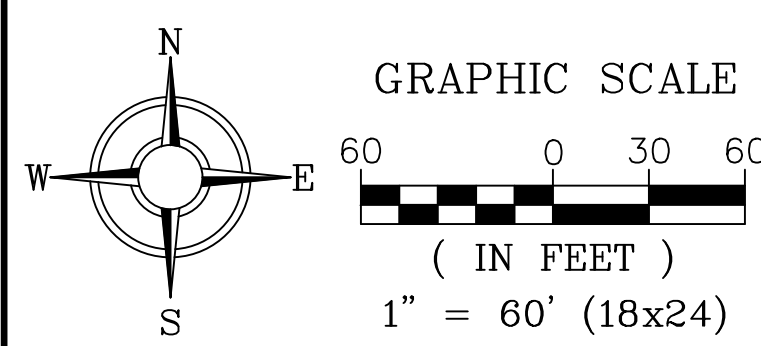
IOWA - AMERICAN WATER COMPANY \_\_\_\_\_ DATE: \_\_\_\_\_

MEDIACOM \_\_\_\_\_ DATE: \_\_\_\_\_

METRONET \_\_\_\_\_ DATE: \_\_\_\_\_

MIDAMERICAN ENERGY \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.



**LEGEND:**

DEED DIMENSION = (0.00')

FIELD DIMENSION = 0.00'

MONUMENTS FOUND:

AS NOTED = ●

MONUMENTS SET:

#5 REBAR W/ PINK CAP #8860 = ○

BOUNDARY LINE = ————

FENCE LINE = - x - x - x - x -

EASEMENT LINE = - - - - -

SETBACK LINE = - · - · - · - · -

SECTION LINE = - - - - -



DATE: 3/7/2023

563 386.4236 office | 386.4231 fax  
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: KLC

CHECKED BY: JDR

LOCATION: S:\MEL FOSTER\ROUNDAOUT

| REVISIONS: |             | DATE |
|------------|-------------|------|
| NO.        | DESCRIPTION |      |
|            |             |      |
|            |             |      |

**PROJECT**

FINAL PLAT  
LEGACY CORNERS SOUTHEAST  
BETTENDORF, IOWA

**DEVELOPER**

MIDDLE ROAD DEVELOPERS LC  
3211 E. 35TH ST. CT.  
DAVENPORT, IA 52807

**SHEET NO.**

1 OF 1

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

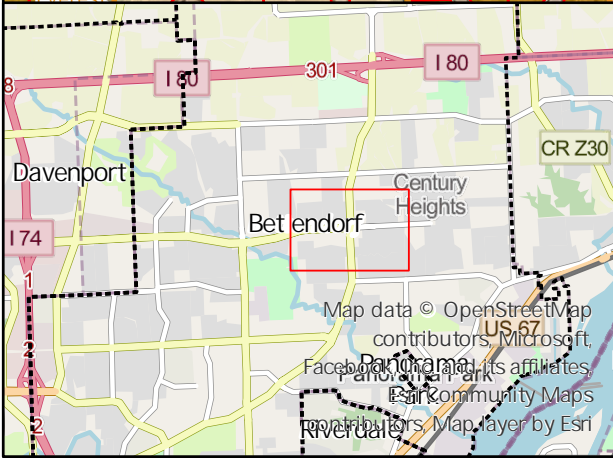
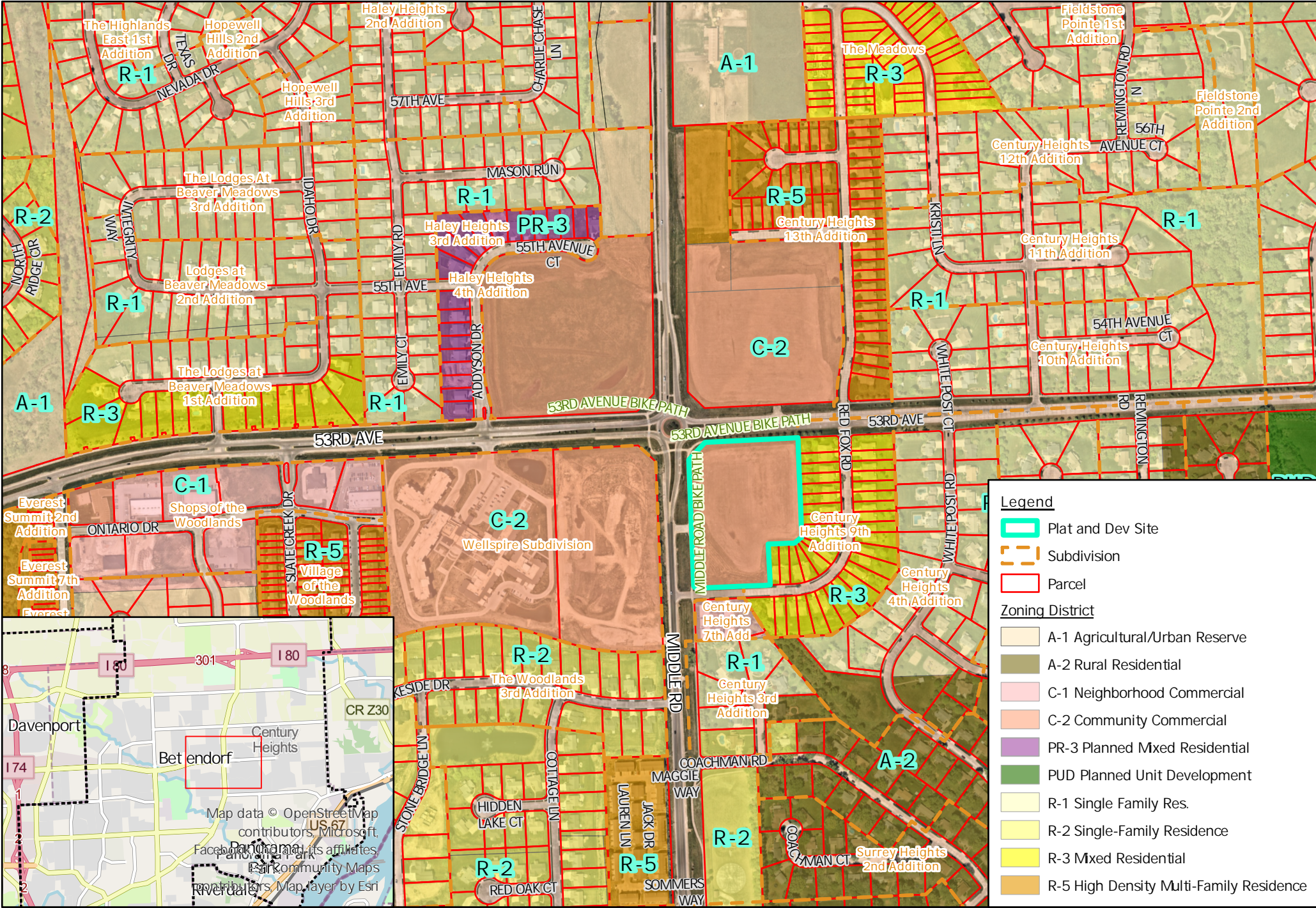
**JERRY D. ROGERS** Date \_\_\_\_\_  
Iowa License Number: 8860  
My license renewal date is December 31, 2023  
Pages or sheets covered by this seal: 1

# Case No. 23-010: Legacy Corners Southeast




## Final Plat

### Current Zoning











1 Inch = 542 Feet



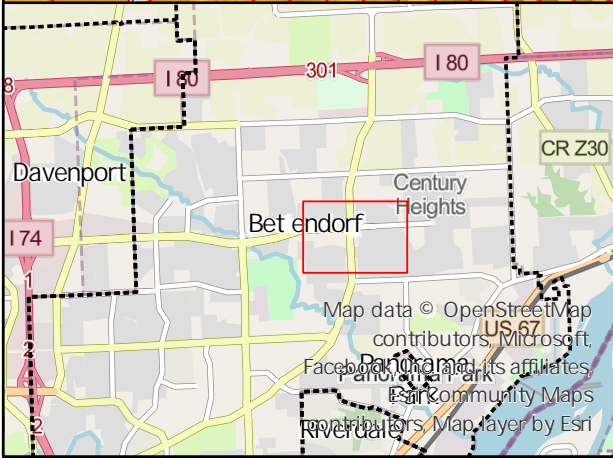
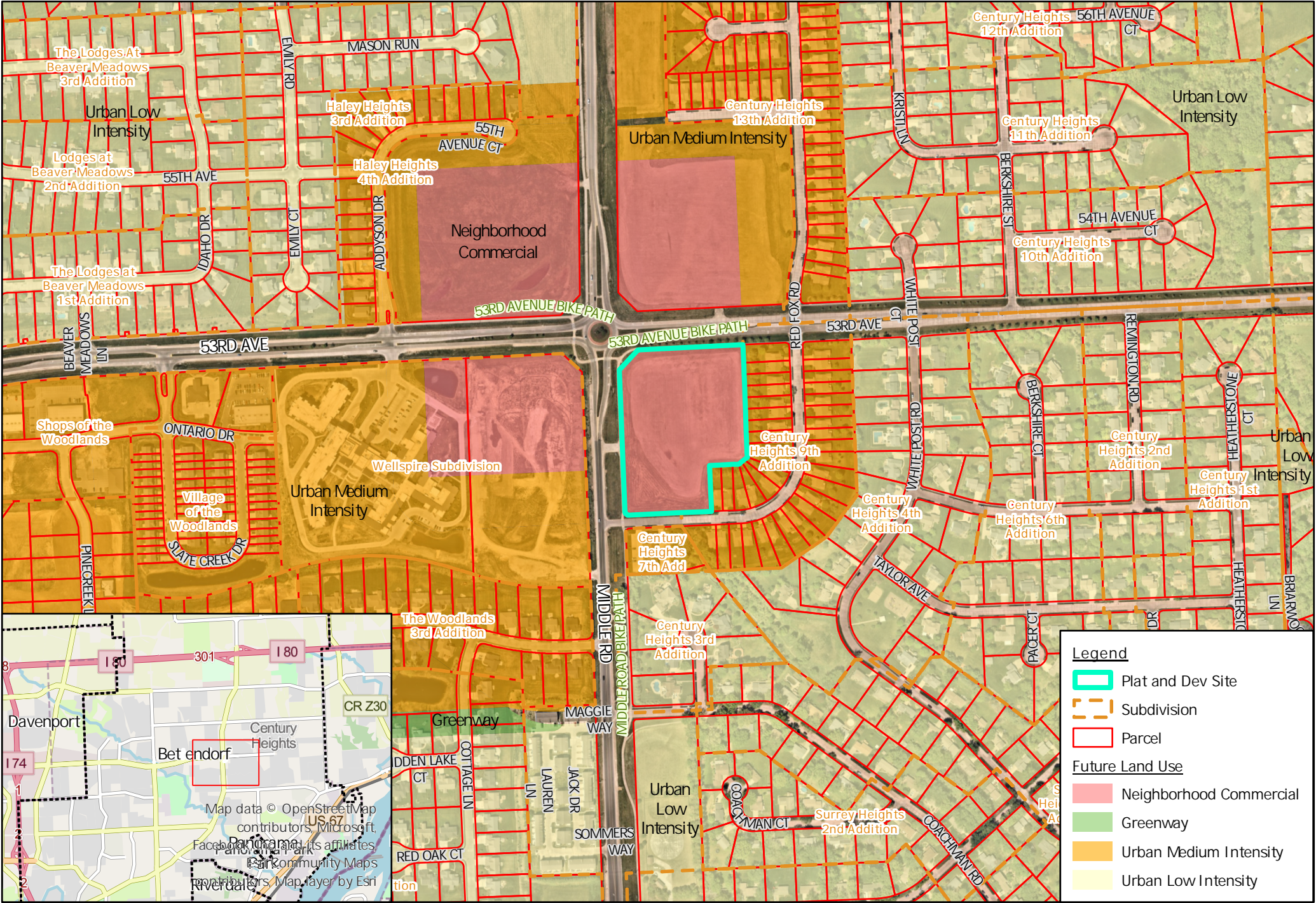
**Legend**

-  Plat and Dev Site
-  Subdivision
-  Parcel

**Zoning District**

-  A-1 Agricultural/Urban Reserve
-  A-2 Rural Residential
-  C-1 Neighborhood Commercial
-  C-2 Community Commercial
-  PR-3 Planned Mixed Residential
-  PUD Planned Unit Development
-  R-1 Single Family Res.
-  R-2 Single-Family Residence
-  R-3 Mixed Residential
-  R-5 High Density Multi-Family Residence

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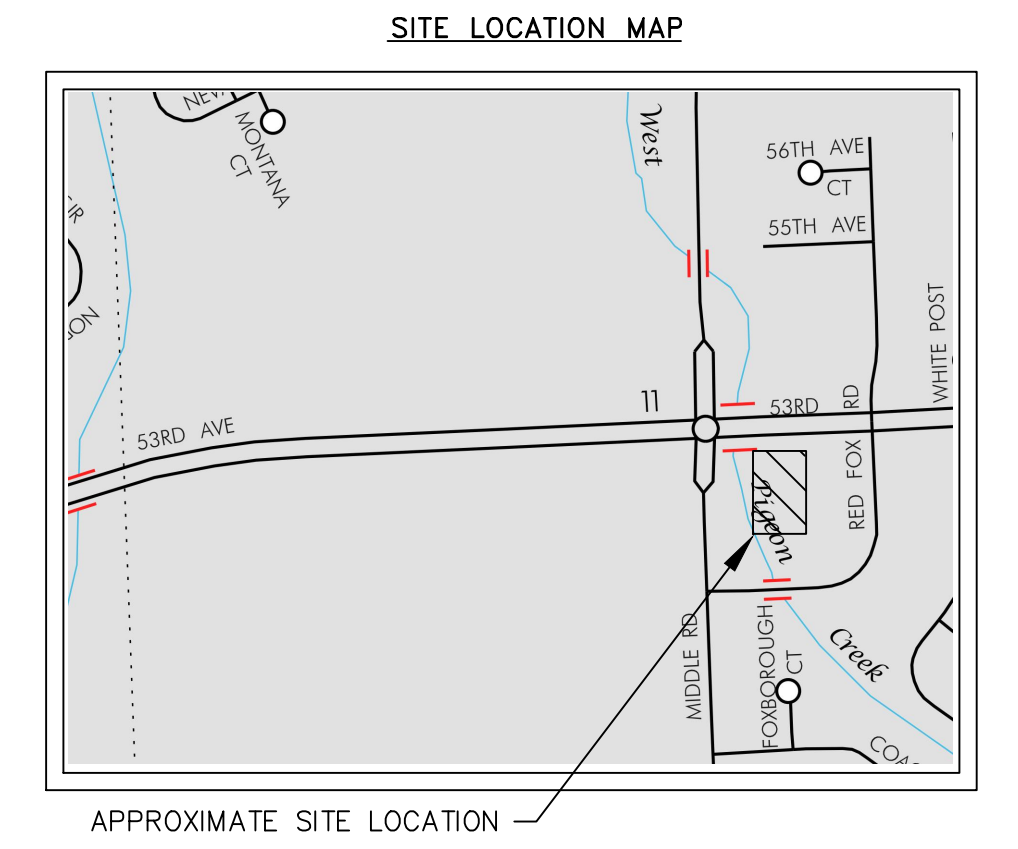
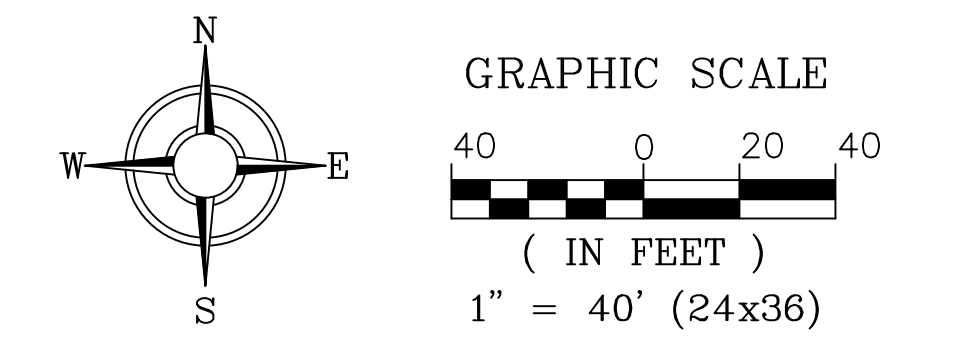
**Legend**

- Plat and Dev Site
- Subdivision
- Parcel

**Future Land Use**

- Neighborhood Commercial
- Greenway
- Urban Medium Intensity
- Urban Low Intensity

# Lot 1 - Concept Plan LEGACY CORNERS - SE

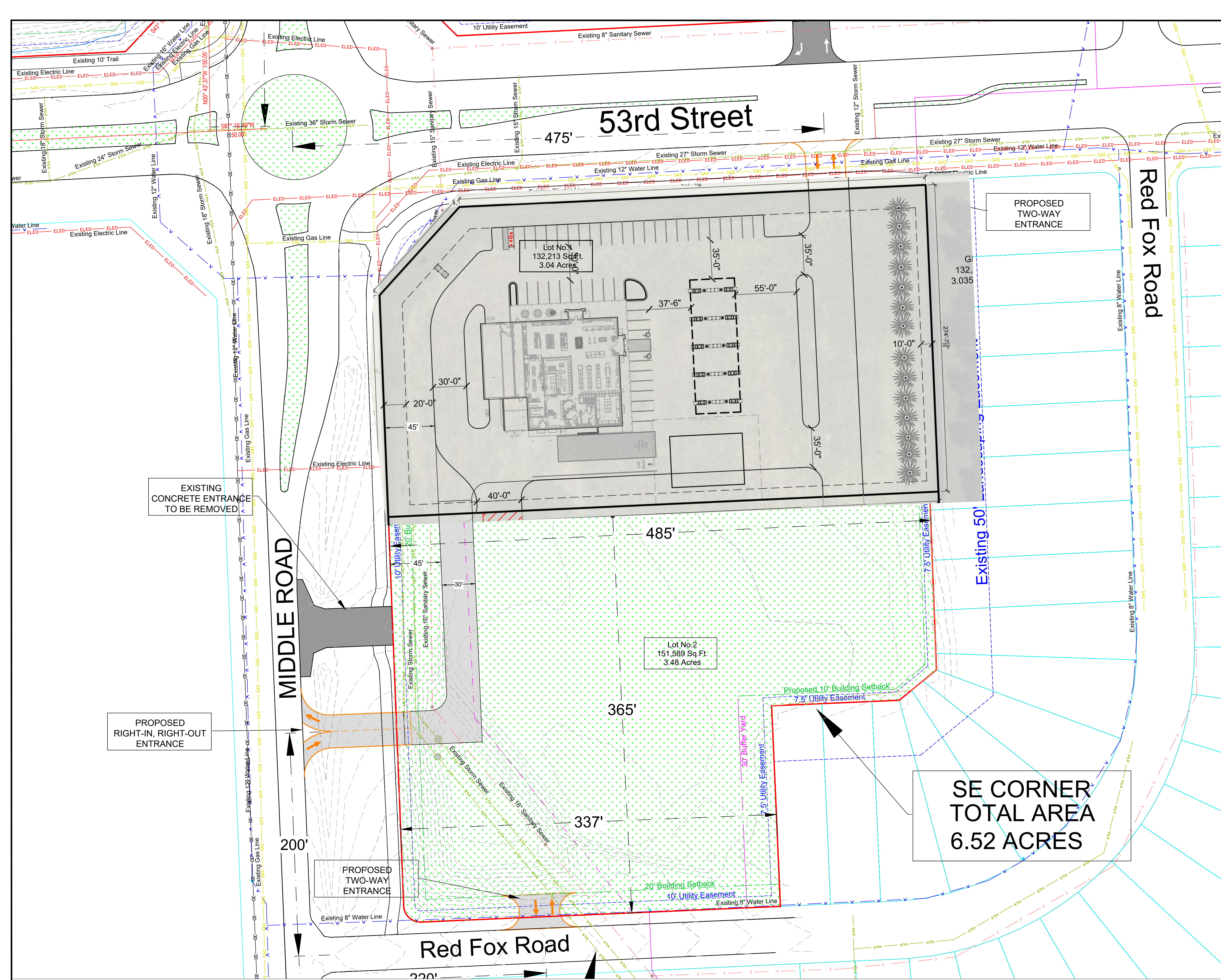


### PLAT INFORMATION

- Owner:  
Century Heights Limited Partners  
3211 E. 35th Street Ct.  
Davenport, Iowa 52807
- Engineer:  
Townsend Engineering  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Surveyor:  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52803  
Ph: (563) 386-4236
- Attorney:  
Mike Gorsline  
Vollertsen, Britt & Gorsline, PC  
5119 Utica Ridge Road  
Davenport, Iowa 52807  
Ph: (563) 324-0441

AREA OF SUBDIVISION:  
GROSS AREA: 6.52  
ROW: 0.00  
LOT 1: 3.04  
LOT 2: 3.48

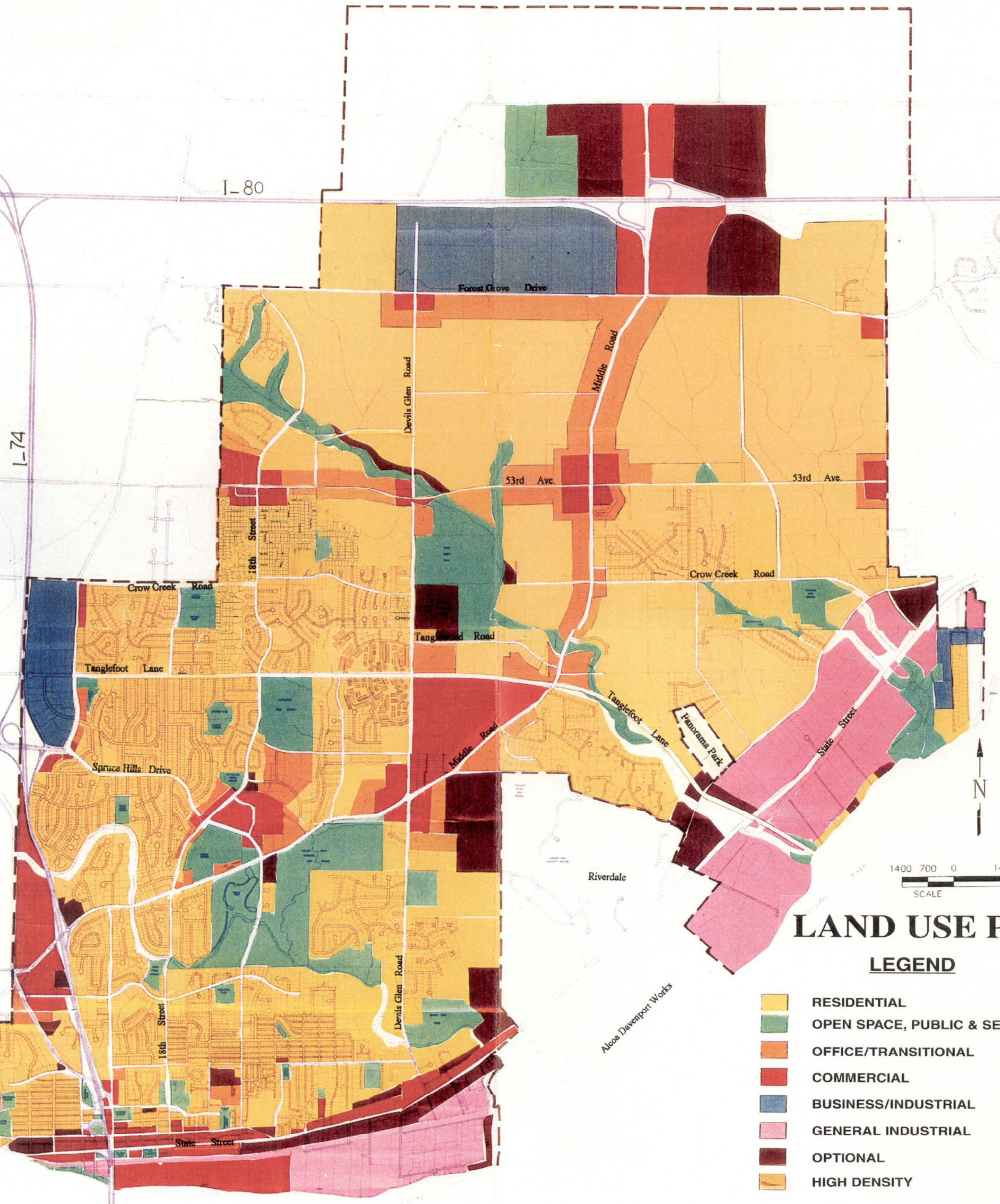
| CURRENT ZONING - C-2 |      |                      |
|----------------------|------|----------------------|
| Front                | Rear | Side                 |
| 25'                  | 25'  | Min5' w/Total OF 10' |



**SE CORNER  
TOTAL AREA  
6.52 ACRES**



| NO. | REVISIONS:<br>DESCRIPTION | DATE |
|-----|---------------------------|------|
|     |                           |      |
|     |                           |      |
|     |                           |      |



**BETTENDORF, IOWA 1990**





## STAFF REPORT

**Subject:** Annexation Proposal  
**Author:** Taylor Beswick  
**Department:** Community Development  
**Date:** March 15, 2023

**Case No.:** 23-020

**Request:** 100% voluntary annexation of land totaling 80.32 acres, located in unincorporated Pleasant Valley Township, Scott County.

**Location:** North of Forest Grove Drive, west of Wells Ferry Road, and South of I-80.

**Legal Description:** W½NW¼ and part of the NW¼SW¼ of Section 6, Township 78 N (Parcel #: 850601001, 850617002, 850633012)

**Applicant:** Windmill Development

**Owner:** Forest Grove Properties, LLC

**Current Land Use:** Agricultural

**Proposed Land Use:** Residential, Civic (School), and Commercial

### Background Information & Facts

Windmill Development and Forest Grove Properties, LLC have applied for an annexation of property currently located east of the City corporate limits in Pleasant Valley Township. The area contemplated is bound by Interstate 80 to the north, Wells Ferry Road to the east, and Forest Grove Drive to the west and is currently being farmed ([see Annexation Aerial – Attachment A and Annexation Exhibit – Attachment B](#)). Territorial boundaries for the city are proposed to be extended to the road centerlines of Forest Grove Drive and Wells Ferry Road and the northern boundary line of Section 6, Pleasant Valley Township. The annexation proposal is associated with a development proposal which consists of 70-plus single-family homes, an indoor RV storage business, and the 16-acre site of a future Pleasant Valley School District elementary school ([see Windmill Development Concept – Attachment C](#)). A portion of the development concept is located in the City limits of Bettendorf, bordering Sterling Woods subdivision, Spencer Hollow Fourth Addition, and Forest Grove Park. The proposed development preserves the Nationally Registered Historic Place, Forest Grove School No. 5.

Pending review by the Planning and Zoning Commission and approval by City Council resolution, the annexation proposal will be heard by the Iowa Economic Development Authority’s City Development Board. After approval, the property may proceed to the zoning, platting, and site development stages of review by the City.

### Analysis

The Comprehensive Plan established a growth policy and strategic goals to guide decisions regarding annexations. The 100% voluntary annexation proposal is consistent with the seven-point annexation strategy outlined on page 40-41 of the Comprehensive Plan ([see Annexation Map and Annexation Strategies – Attachment D](#)). The area in question is not shown on the most recently adopted Annexation Map due to the perceived inability to sewer the site at the time of its adoption, and the proposal includes a sanitary

sewer. The site is also shown on the Future Land Use map as Urban Medium Intensity (UMI) ([see Bettendorf Future Land Use – Attachment E](#)) and the Long Term Growth Area map as a Tier 1 area ([see Bettendorf Long Term Growth Areas – Attachment F](#)). In addition to the stated annexation strategies, the proposal is consistent with many Comprehensive Plan and Strategic Plan goals adopted by the city by promoting housing development in an area with basic infrastructure connections and enhancing the quality of existing development with a proposed elementary school.

The City of Bettendorf has reviewed and accepted relatively few annexation proposals in recent times ([see Bettendorf Annexation History – Attachment G](#)). An annexation of agricultural land in the northeast quadrant of the City occurred in 2013 for the stated purpose by the owner of organizing the property in one taxing jurisdiction. Another annexation of a small industrial parcel occurred in 2012 in the southeast quadrant of the City for the purposes of development. Prior to those annexations, significant portions of the current City limits were annexed between 1969-1971. This area has mostly filled out, except for areas located north of Interstate 80.

The proposed annexation area is located in a region of Pleasant Valley which has witnessed steady residential development in the previous decades. Parcels included in the proposal, as well as larger tracts located to the south, are currently zoned Agricultural-General in Scott County ([see Scott County Zoning – Attachment H](#)). Any large-scale development would require a rezoning by Scott County. The area is shown as Future Residential and To-Be-Annexed on the Scott County Future Land Use Map ([see Scott County Future Land Use – Attachment I](#)). The development and land use policy of the Scott County Board of Supervisors is and has been to preserve land adjacent to incorporated urban areas for future annexation. The intent of this policy is to drive development into cities which can provide water services, sanitary sewer, fire, police, etc. Prior to the Windmill Development proposal, a configuration was not available to sewer the annexation area. The city and developer reviewed an initial proposal that would have added a new lift station to serve the development but removed an existing older station located in Sterling Woods. After discussions between the City and its engineering consultant working on a proposed large lift station near this area to service future development north of Interstate 80, it was determined that that proposed station could be located closer to the subject property and the proposed development could connect to that via gravity sewer without the need for an additional lift station. That new location will also allow the Sterling Woods lift station to be abandoned as well as the Spencer Hollow lift station, greatly reducing Public Works maintenance time and expenses. The City requires new developments to have sanitary sewer access, and the proposal meets this requirement.

The proposed annexation is also served by two higher functional class roads: Wells Ferry Road and Forest Grove Drive (195<sup>th</sup> Street). A future elementary school would have good access to existing and future developments in Bettendorf and Pleasant Valley. The future school would also have good access to City Police and Fire services.

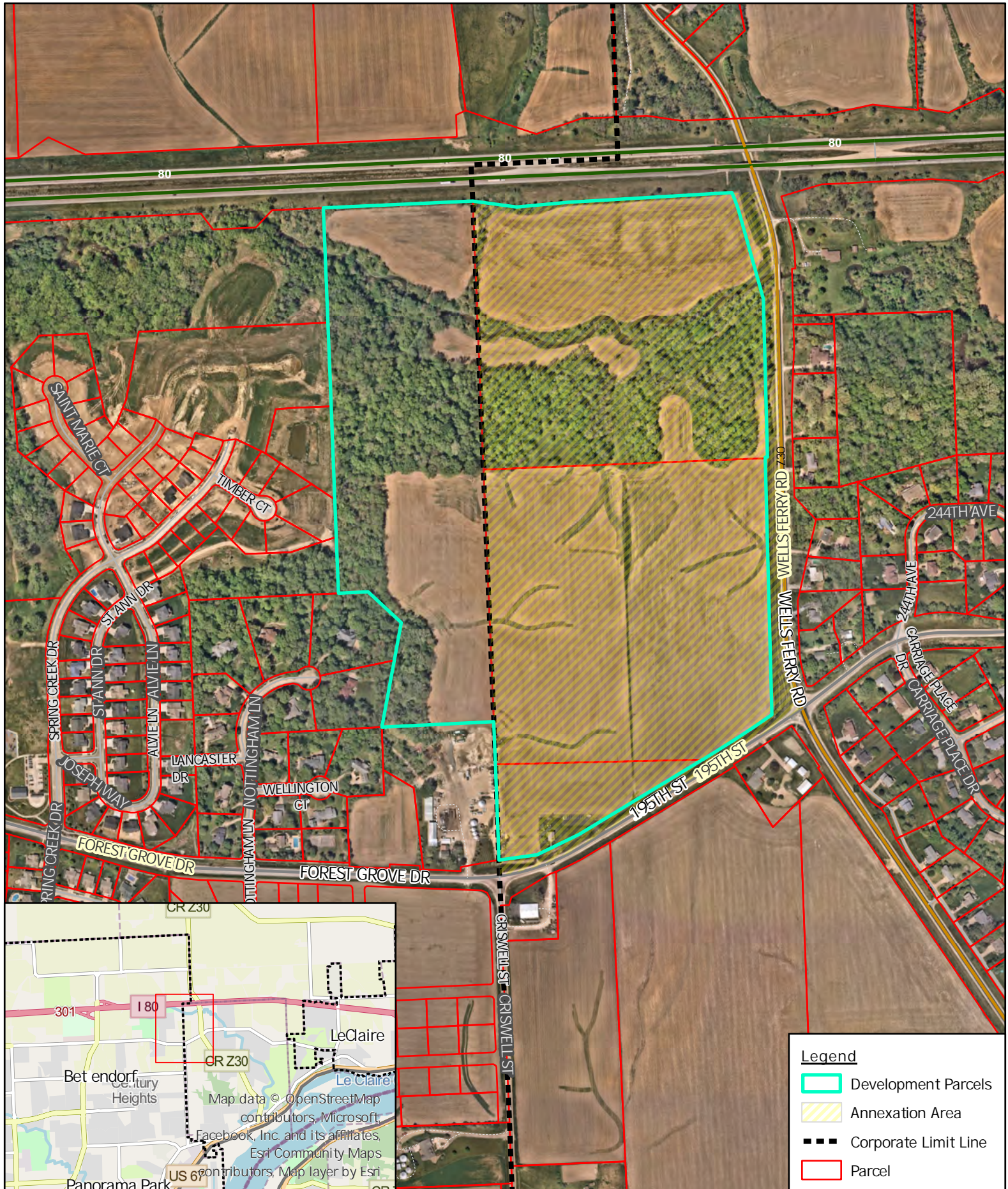
In addition to the City's adopted policies for reviewing annexation proposals, the State of Iowa requires all proposals apply smart planning principles to the territory in question. Staff is using Iowa State University's smart planning tool to further analyze the proposal. Staff contends the ten smart planning topic areas are addressed by the proposal and will present a detailed report to the City Development Board pending permission to proceed with proposal by City Council ([see Annexation Smart Planning Checklist – Attachment J](#)).

**Staff Recommendation**

The proposal meets all adopted policies for consideration of annexations and development. Staff recommends the Planning and Zoning Commission recommend approval of the annexation proposal (Case No. 23-020).

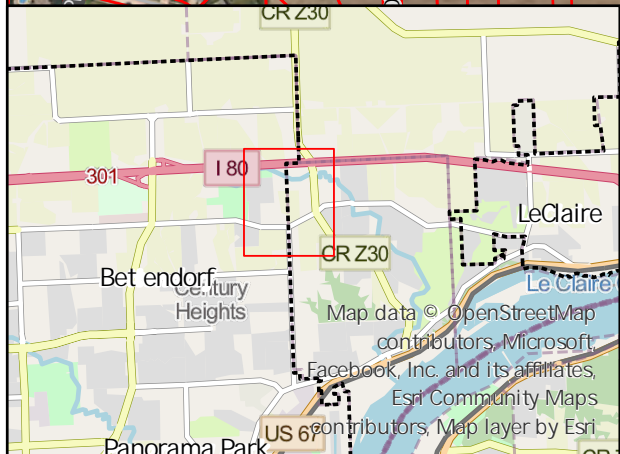
Respectfully submitted,

Taylor Beswick  
City Planner



**Legend**

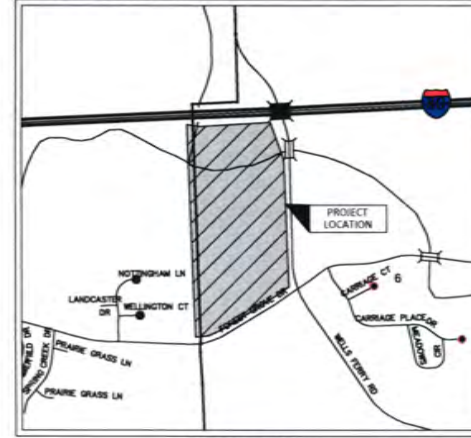
- Development Parcels
- Annexation Area
- Corporate Limit Line
- Parcel



# ANNEXATION EXHIBIT FOREST GROVE BETTENDORF, SCOTT COUNTY, IOWA



PROJECT LOCATION MAP:



(NOT TO SCALE)

APPLICANT INFORMATION:

|                                                                                                                                                                     |                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>APPLICANT:</b><br>FOREST GROVE PROPERTIES, LLC<br>C/O REED WINDMILLER<br>210 FOREST RD<br>DAVENPORT, IA 52803<br>563-271-8808<br>WINDMILLERDEVELOPMENT@GMAIL.COM | <b>PREPARED BY:</b><br>AXIOM CONSULTANTS, LLC<br>C/O BRAD GEATER<br>60 E. COURT STREET, UNIT 3<br>IOWA CITY, IOWA 52240<br>319-519-6220<br>BGEATER@AXIOM-CON.COM |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|

LEGAL DESCRIPTION:

ALL OF THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) AND PART OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 6, TOWNSHIP 78 NORTH, RANGE 5 EAST OF THE 5<sup>TH</sup> PRINCIPAL MERIDIAN LYING NORTH OF FOREST GROVE ROAD (195<sup>TH</sup> STREET), SOUTH OF INTERSTATE I-80, AND WEST OF WELLS FERRY ROAD (Z-30), BETTENDORF, SCOTT COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 6; THENCE S02°16'15"E, 162.40 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTH RIGHT OF WAY OF INTERSTATE I-80 S81°58'37"E, 190.00 FEET; THENCE ALONG SAID SOUTH RIGHT OF WAY N86°26'39"E, 969.92 FEET TO THE WEST RIGHT OF WAY OF WELLS FERRY ROAD; THENCE ALONG SAID WEST LINE, S20°00'16"E, 559.06 FEET TO THE SAID WEST HALF (W 1/2); THENCE ALONG SAID WEST LINE S02°13'33"E, 1,766.53 FEET; THENCE SOUTHWESTERLY 350.95 FEET ALONG A 7,051.98 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY (CHORD BEARING S55°32'19"W, 350.91 FEET); THENCE S57°47'13"W, 543.60 FEET; THENCE S58°50'04"W, 206.84 FEET; THENCE S65°25'58"W, 218.50 FEET; THENCE S84°00'27"W, 174.87 FEET TO THE WEST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE N02°14'19"W, 474.45 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE N02°16'15"W, 2,489.24 FEET TO THE POINT OF BEGINNING.

DESCRIBED AREA CONTAINS 80.32 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

| LEGEND |                                  |
|--------|----------------------------------|
| ●      | SET 5/8" Ø REBAR CPC 1982B       |
| x      | SET CUT X                        |
| ●      | FOUND PROPERTY CORNER AS LABELED |
| OPC    | ORANGE PLASTIC CAP               |
| YPC    | YELLOW PLASTIC CAP               |
| ---    | PROPOSED BOUNDARY/PROPERTY LINE  |
| ---    | EXISTING PROPERTY LINE           |
| ---    | PROPOSED EASEMENT                |
| ---    | EXISTING EASEMENT                |
| ---    | PROPOSED SETBACK                 |
| ---    | SPLIT LOT LINE                   |
| (R)    | PREVIOUSLY RECORDED AS           |

**AXIOM CONSULTANTS**  
WWW.AXIOM-CON.COM | (319) 519-6220

0 150 300  
1" = 300'

DRAWING LOG  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

PROJECT NAME: FOREST GROVE  
PROJECT NUMBER: 220199

CLIENT: BETTENDORF, SCOTT COUNTY, IOWA  
PREPARED BY: FOREST GROVE PROPERTIES, LLC

ANNEXATION EXHIBIT  
GATEWAY: GEATER

1 OF 1

INTERSTATE 80

RV STORAGE



WELLS FERRY RD

FUTURE SCHOOL

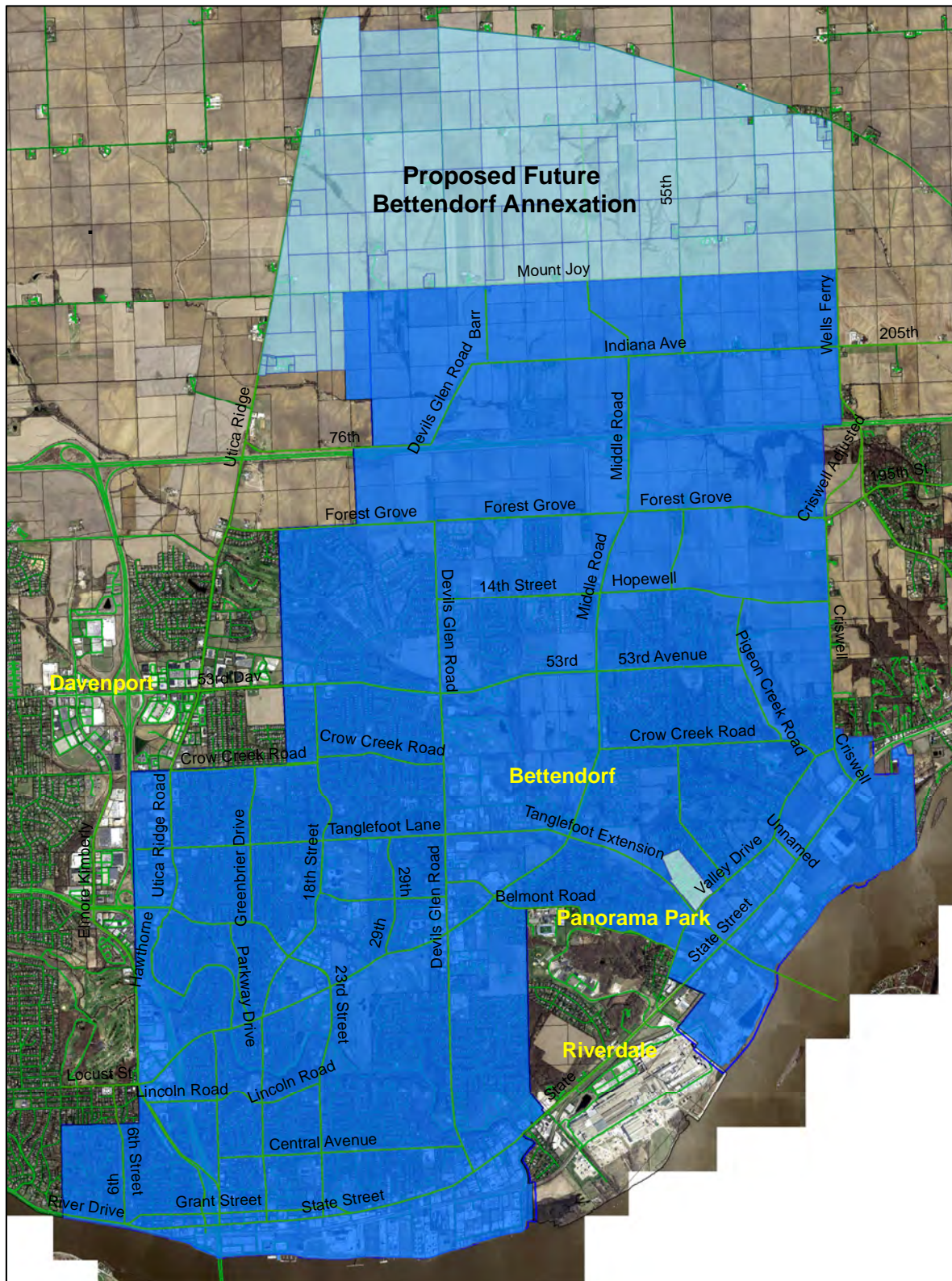
FOREST GROVE DR

**AXIOM**  
CONSULTANTS  
WWW.AXIOMCONSULTANTS.COM | 1-813-338-8226



## FIGURE 1.6 - ANNEXATION MAP

The Annexation Map shows potential long-term future annexation areas for Bettendorf, as recently proposed by the City of Bettendorf as part of a possible annexation agreement with the City of Davenport. The City should continue to work with its neighbors, Scott County, Davenport, and LeClaire, to establish annexation agreements.



## ANNEXATION STRATEGY



**ACTION 5:** Use the annexation map and the seven-point annexation strategy to guide annexation decisions.

Figure 1.6 identifies Bettendorf's potential long term annexation area. Bettendorf currently has more than enough land to accommodate growth in the next 10-20 years (5,000 acres are available and approximately 3,000 are needed for planning purposes). Therefore, these areas represent long term interests and should not be annexed until the need for additional land is more imminent.

When the need for additional land arises, the city should use the following annexation strategy:

### 1: Pursue Voluntary Annexation

Bettendorf should use the "voluntary annexation" provisions of Iowa annexation law (including the 80/20 rule, see below) and avoid annexing areas under "involuntary" procedures. The drawbacks of involuntary annexations include:

- More complex annexation process
- Confrontation with land owners
- Susceptibility to court challenges
- Costly extension of city services mandated within a short time period, even if development is not imminent

The benefits of voluntary annexation are:

- Allows city to promote areas for development without having to install costly infrastructure ahead of that development. The annexation/infrastructure extension plan becomes a negotiated process between the property owner, developer and the city.
- Does not require the city to pick "winners and losers" among potential annexation areas. Instead, the private market determines development timing and location.
- Simpler process, less controversial

To make the voluntary annexation approach work the city must:

- If necessary, use the 80/20 rule for voluntary annexation, which allows up to 20% of the total annexed area to be included without consent from property owners. This allows for the "squaring off" of annexation areas to logical boundaries to avoid the creation of unincorporated "islands", which are not permitted by state law. While

full consent from property owners is ideal, there may be situations where the 80/20 rule is necessary to follow state laws, and achieve long term city goals.

- Enact Parts 2-7 of this strategy.

### 2. Only Annex as Needed

Bettendorf should annex land only as the need arises. (As of the writing of this plan, Bettendorf has enough land in city limits to accommodate the next 20 years of projected land need.) By only annexing what is needed, when it is needed, the city avoids unnecessary maintenance of infrastructure and potential conflicts with land owners. This approach must be coupled with the creation of annexation agreements (see following page), in order to protect the city's long-term growth areas.

### 3. Initiate Outreach to Property Owners

Initiate ongoing communication with owners of properties in the long-term annexation areas (Figure 1.6). Communicate the potential benefit of annexation: The extension of city services/ infrastructure greatly enhances the development potential of the land and maximizes its sale value.

### 4: Negotiate Development Agreements

Development opportunities in the annexation priority areas should be pursued on a "negotiated development agreement" basis, with zoning, infrastructure extensions, and any applicable development incentives as part of the negotiation process. The Future Land Use Map should serve as the guide for uses within the annexation areas.

### 5. Wait to Zone

Annexation areas should not be zoned for future uses until the areas are voluntarily annexed and a negotiated development deal is accomplished. Discussion of appropriate zoning, consistent with the Future Land Use Map, should be a part of the negotiation process.

### 6. Prioritize Contiguous Parcels

Annexation priority should go to parcels contiguous to current city boundaries. It is not recommended to annex property that is not contiguous to current city property, and would not be permitted by state law in most circumstances.



*Annexation agreements help avoid conflicts between jurisdictions and allow cities to annex land only as needed, thereby avoiding acquisition of costly infrastructure obligations prematurely.*



## 7. Create Annexation Agreements



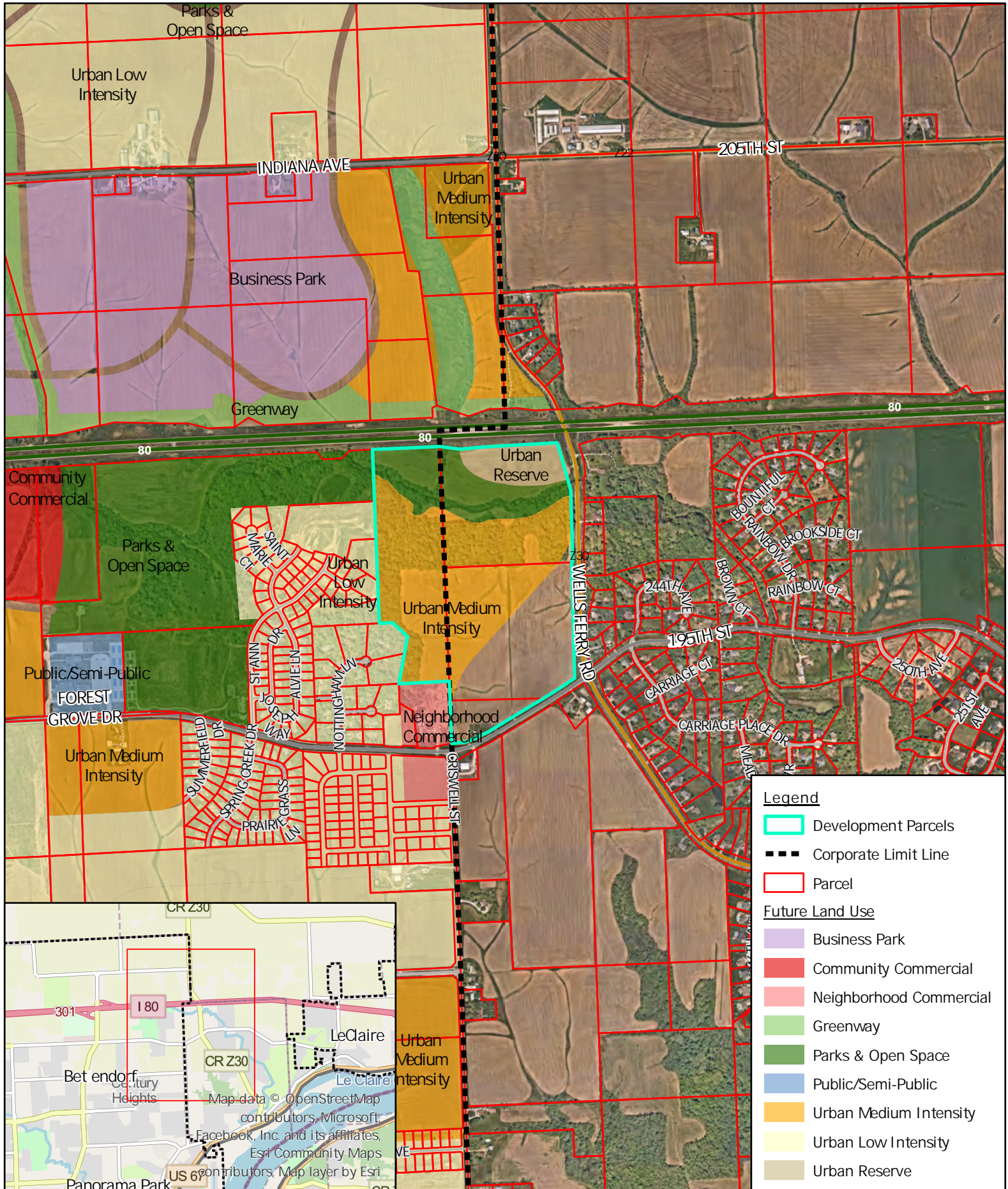
**ACTION 6:** Work cooperatively with Scott County, the City of Davenport and the City of LeClaire to establish annexation agreements.

An annexation agreement establishes future annexation boundaries between neighboring municipalities. The benefits of an annexation agreement include:

- Establishes common understanding between municipalities and avoids future conflicts.
- Identifies which areas can be best served with infrastructure by each municipality.
- Discourages cities from annexing property prematurely, before development is imminent. Without an annexation agreement, cities might annex property solely to protect their long-term interests. The downfall is that the city is now required to maintain streets and land that may not experience urban development for decades to come. This results in a waste of city resources.

Annexation agreements are established as an intergovernmental agreement, as allowed in Chapter 28E of the Code of Iowa.

This strategy also requires working with the County to ensure that the County land use plan discourages inappropriate uses in the city's growth areas. The city may also wish to seek development review authority for unincorporated land in the city's long-term growth area.



**Legend**

- Development Parcels
- Corporate Limit Line
- Parcel

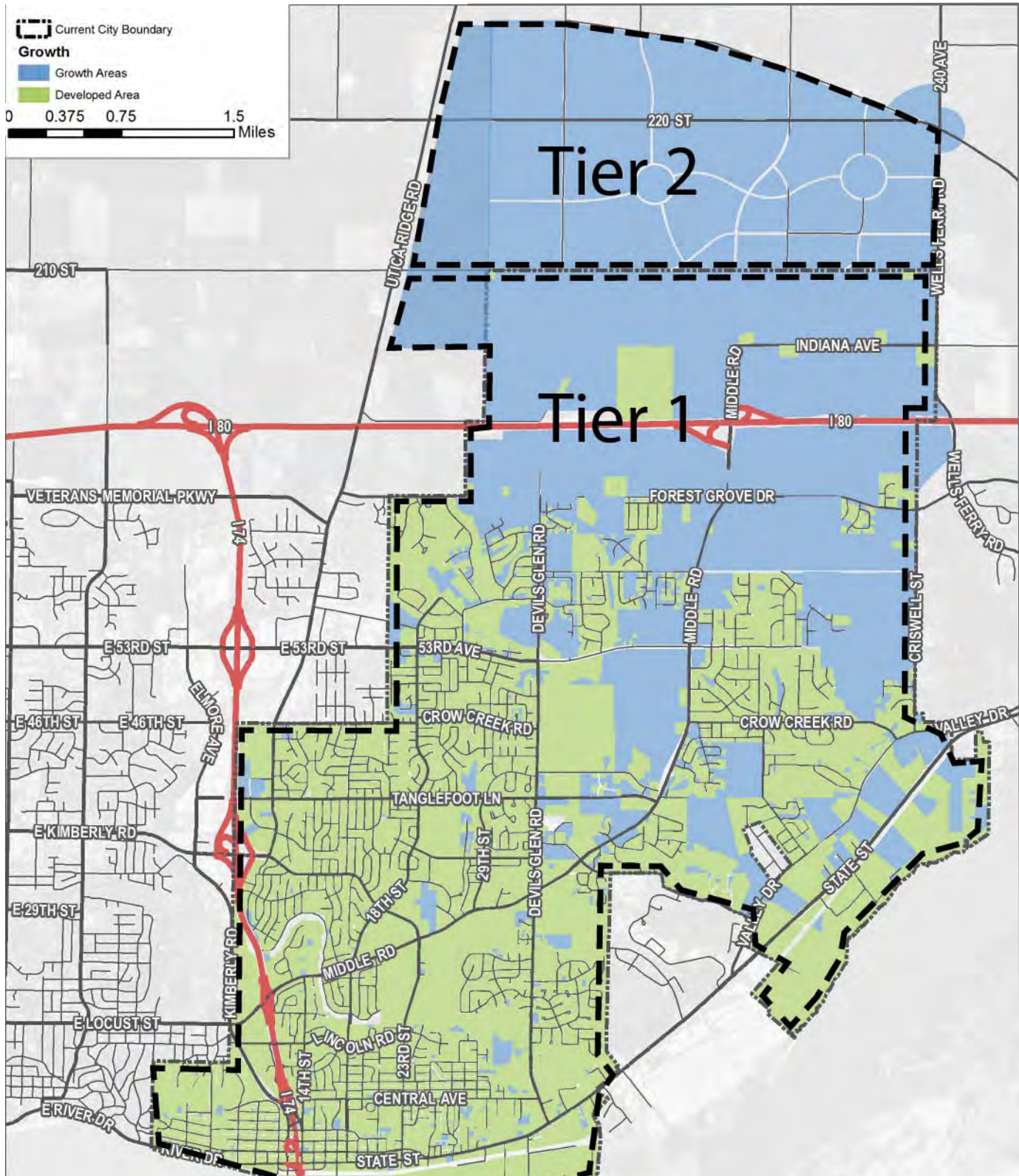
**Future Land Use**

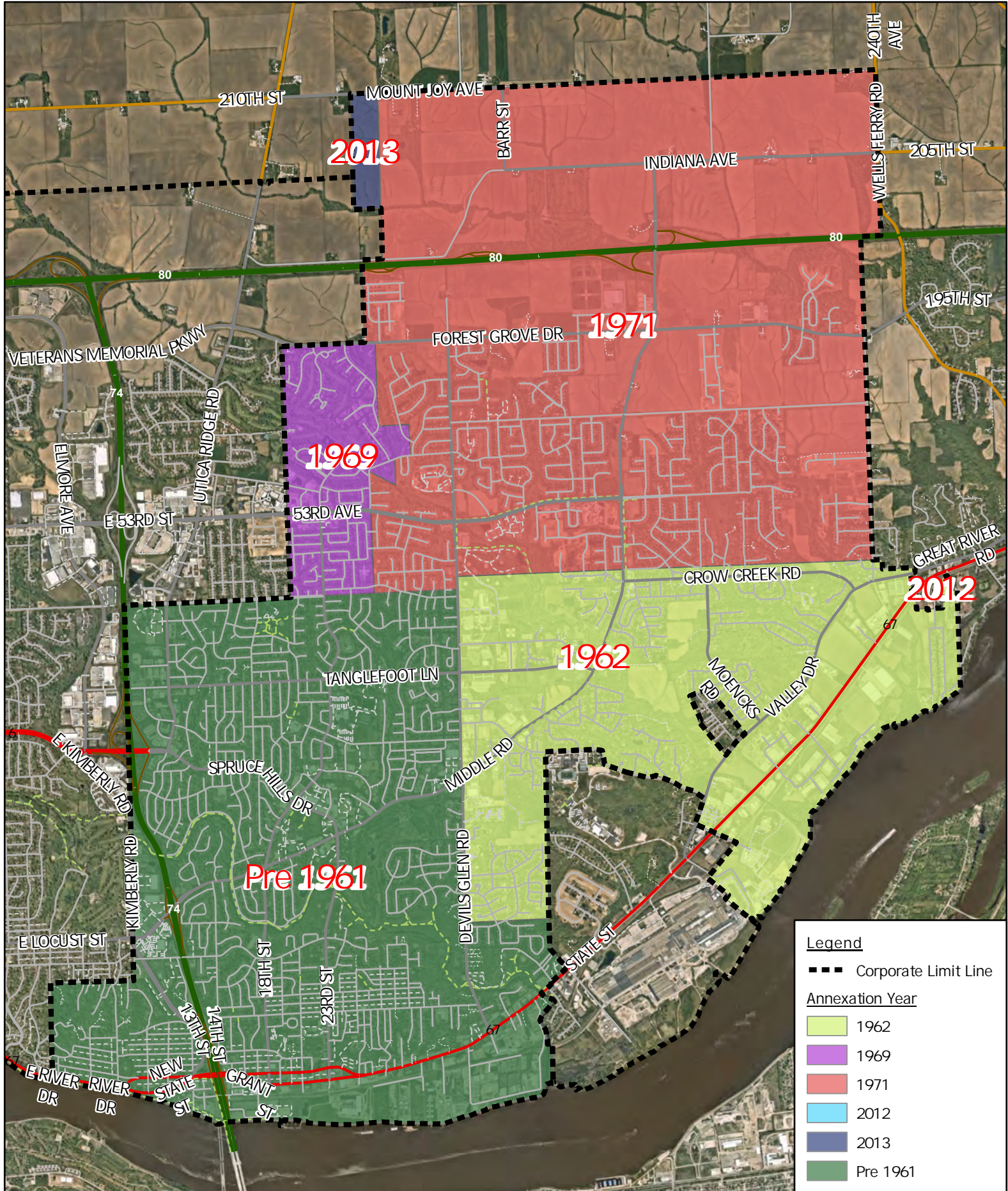
- Business Park
- Community Commercial
- Neighborhood Commercial
- Greenway
- Parks & Open Space
- Public/Semi-Public
- Urban Medium Intensity
- Urban Low Intensity
- Urban Reserve

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## FIGURE 1.2 - LONG TERM GROWTH AREA (2035 AND BEYOND)

Bettendorf is expected to grow primarily to the north, to and beyond Interstate 80. Tier 1 will develop first, since it is already within city limits, is contiguous to existing growth, and is more readily serviceable by infrastructure. Tier 1 contains approximately 5,000 acres, much more than the 1,500 acres needed for the next 20 years of growth.



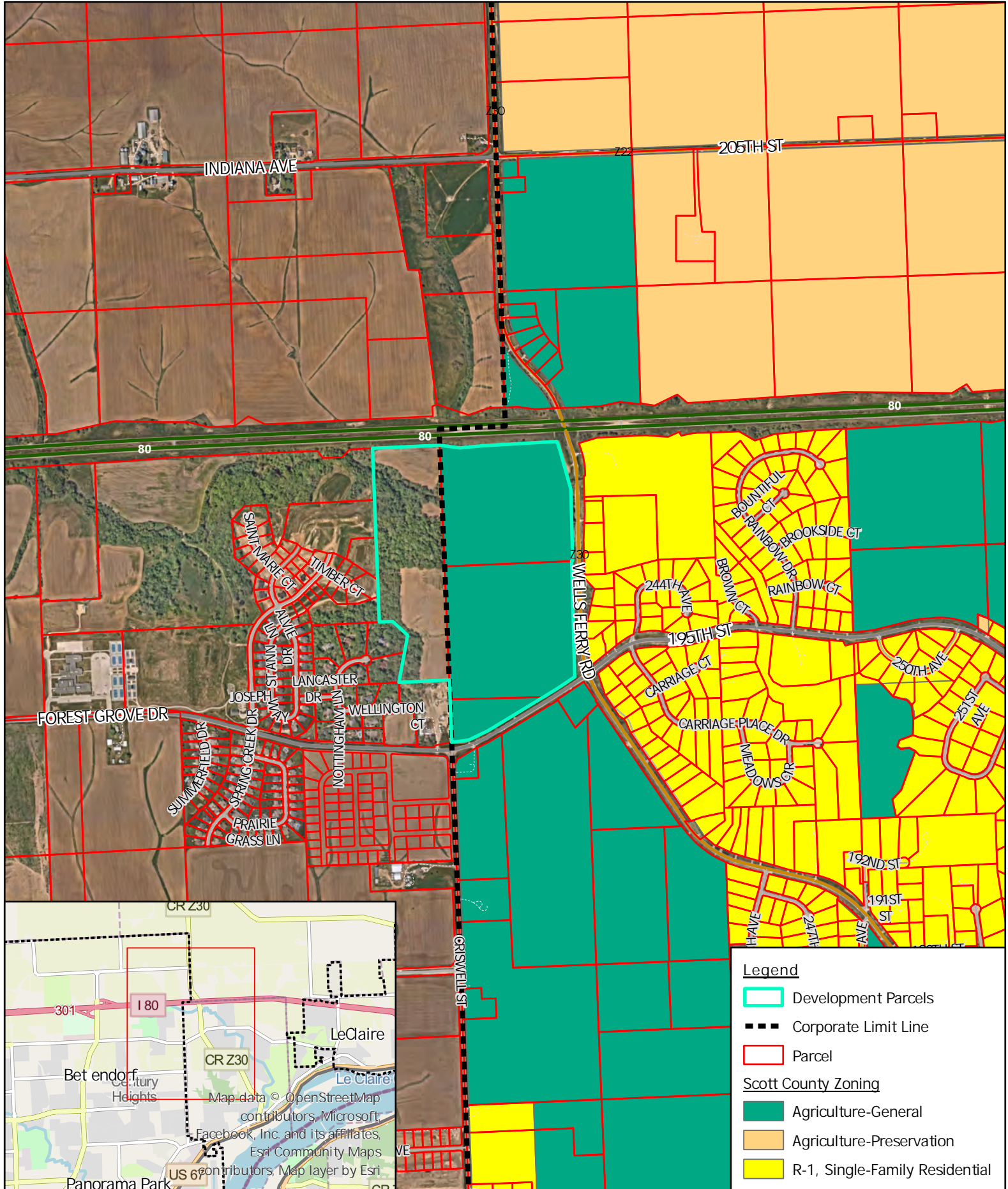


**Legend**

- Corporate Limit Line

**Annexation Year**

- 1962
- 1969
- 1971
- 2012
- 2013
- Pre 1961



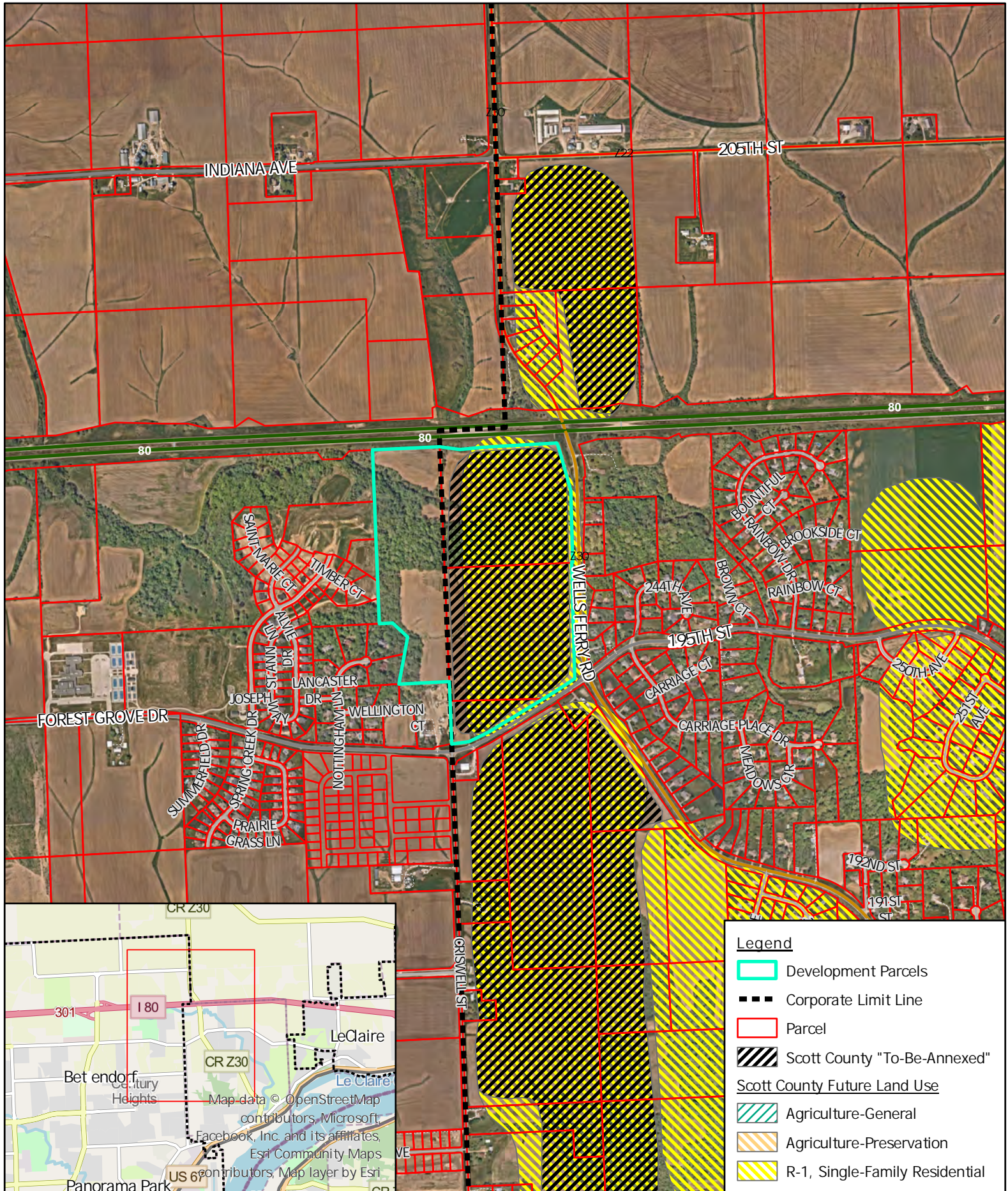
**Legend**

- Development Parcels
- Corporate Limit Line
- Parcel

**Scott County Zoning**

- Agriculture-General
- Agriculture-Preservation
- R-1, Single-Family Residential

Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri



**Legend**

- Development Parcels
- Corporate Limit Line
- Parcel
- Scott County "To-Be-Annexed"

**Scott County Future Land Use**

- Agriculture-General
- Agriculture-Preservation
- R-1, Single-Family Residential

CR Z30  
301 I 80  
Bettendorf  
Century Heights  
LeClaire  
LeClaire  
US 61  
Panorama Park

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# Annexation Smart Planning Checklist

## 1) Collaboration

- Were comprehensive plans of neighboring jurisdictions reviewed and considered during the annexation planning process?
- Is this annexation consistent with formal cooperative agreements on land use, transportation, annexation, etc., that may exist with neighboring jurisdictions? (28E agreements; annexation moratoria; cooperative fringe area plans, etc.).

Examples of *collaboration* include hosting open house events, conducting consultation meetings with affected stakeholders, engaging in joint planning efforts with contiguous municipalities and affected counties.

## 2) Efficiency, Transparency, and Consistency

- Does the community have a comprehensive plan? If so, does the plan anticipate the proposed annexation, including its anticipated fiscal impact?
- Were citizens active in the development of the comprehensive plan?
- Does the plan address the provision of services to the proposed annexation? If so, does it include a timetable for the provision of services?
- Does the community have a Capital Improvements Plan (CIP)? If so, does the CIP anticipate the provision of capital improvements to the proposed annexation?

Examples of *efficiency, transparency, and consistency* include the use of impact models to measure financial and potential social impacts of proposed plans; descriptions of services or facilities that would be included in a plan; public disclosure of development agreements between governmental agencies, quasi-governmental organizations, and private sector participants; adopted capital improvement programs; and intergovernmental (i.e., 28E) agreements pertaining to planning or the joint delivery of services.

## 3) Occupational Diversity

- Does the comprehensive plan designate the proposed annexation or a part of it as a potential site for commercial or industrial activity?
- If 'yes' to (a), does the comprehensive plan, or a regional economic development plan, identify the activities to be sought for placement on the land to be annexed?
- If yes to (a), will potential commercial or industrial development in this location exist in proximity to existing housing, infrastructure and transportation options?

Examples of *occupational diversity* include plan provisions that encourage the inclusion of diverse land uses and how those policies contribute to employment opportunities and stable neighborhoods; multi-modal transportation systems that address the needs of interstate commerce as well as link employment centers with residential, recreational, commercial, educational, and institutional areas.

#### 4) Revitalization

- Does the comprehensive plan set forth a revitalization strategy?
- What impact will the proposed annexation have on revitalization strategy for established commercial, industrial or residential neighborhoods?
  - The need to dedicate resources to maintaining existing infrastructure?
  - The need to maintain a concentration of commercial activity in the revitalizing area?
  - The vacancy/occupancy rates of areas in need of revitalization, and the potential impact of the proposed annexation on these rates?

Examples of *revitalization* include plans and policies that emphasize infill development, reuse of environmentally impaired properties (e.g., brownfields), and methods to overcome blighting factors impacting certain areas of the community or region; and the use of Urban Renewal Areas (Iowa Code Chapter 403) and related statutes and programs designed to eradicate blighting conditions.

#### 5) Housing Diversity

- Does the comprehensive plan designate proposed annexation for residential development?
- Does the comprehensive plan, or a separate housing plan, identify needed housing types in needed price ranges?
  - Is a project proposed for the annexed property that will satisfy one or more of the identified needed housing types/price ranges?
- Is the proposed annexation near public transportation (if applicable) and/or employment centers?

Examples of *housing diversity* can include housing needs studies or assessments that focus on meeting the housing needs of a diverse population; multi-modal transportation options that serve residential areas; and programs designed to rehabilitate existing housing stock.

#### 6) Community Character

- Do municipal policies and programming activities foster the kind of development that harmonizes with or is intentionally coordinated with the character and architectural style of the community?

Examples of *community character* can include zoning overlay zones, design standard manuals, and/or financial programs that correspond to areas that are unique to a community. Some examples could include historic areas, central business districts, cultural or ethnic areas, etc.



## 7) Agricultural Protection and Natural Resources

- Does the comprehensive plan identify critical resource areas, i.e. wetlands, woodlands, natural prairieland, prime farmland?
- Does the comprehensive plan identify areas suitable for agricultural land preservation?
- If “yes” to the first two, is the proposed annexation outside the areas identified in the first two?
- Will the proposed annexation serve to encourage the extension of infrastructure and services to or through critical resource areas or prime agricultural land?
- Will the development of the proposed annexation likely result in conflicts with adjacent rural, non-urban land uses?

Examples of *agricultural protection and natural resources* can include efforts to identify and protect sensitive natural resources; sub-area plans that focus on future land uses and the preservation of natural areas; policies and practices that avoid the premature conversion of agricultural land and mitigate conflicting uses between urban and rural development; joint planning efforts involving county and city planning officials and/or adoption of fringe area agreements to address land development within the two-mile extraterritorial area.

## 8) Sustainable Design

- Will the proposed annexation result in “strip” development pattern?
- Does the comprehensive plan or other community policies promote sustainable design principles, such as storm water management, LEED construction?
- Will the proposed annexation include redevelopment of brownfield and/or grayfield sites, if such exist in proposed annexation area?

Examples of *sustainable design* can include the use of public and pedestrian transportation alternatives; policies and practices that encourage the use of sustainable design standards in buildings and public infrastructure; urban design standards that include the uses of sustainable stormwater management practices; as well as policies and practices that mitigate or avoid adverse environmental impacts (e.g., prohibition of the use of private wells, prohibit certain heavy industrial uses that pose threats to the environment).

## 9) Transportation Diversity

- Does the proposed annexation easily integrate into and lend support to grid networking for streets and sidewalks?
- Does the proposed annexation easily integrate into existing public transit routes (if applicable)?
- Does the proposed annexation integrate into existing trail networks (if applicable)?
- Is the proposed annexation within sufficient proximity to existing development and community amenities to promote walkability?
- Does the comprehensive plan or other community future planning scheme promote mixed use, complete streets, and walkable neighborhoods?

Examples of *transportation diversity* can include transportation master plans that provide multi-modal transportation networks including public transportation, pedestrian improvements, bike lanes, sharrows, and/or complete streets; and traffic impact models that examine transportation impacts within areas proposed for annexation.

## 10) Clean, Renewable, and Efficient Energy

- Do planning and development activities explicitly promote and advance clean and renewable energy use and increased energy efficiency?

Examples of *clean, renewable, and efficient energy* can include adopted plans, ordinances, and related policies that allow for the construction of alternative energy facilities (e.g., wind, landfill gas to energy, solar, hydroelectric power, etc.).

## IOWA STATE UNIVERSITY

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